



Wimbledon Park and Lake Masterplan

December 2018

LDÄ DESIGN



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APPENDICES: Refer Separate Document



1.0 Introduction

1.1. Background

- 1.1.1. LDA Design was commissioned by the London Borough of Merton in November 2015 to produce a Masterplan for the parts of Wimbledon Park and Lake owned by the Council which will create a long-term vision for the next 25 years and provide focus for decision making and future investment.
- 1.1.2. LDA Design has convened a specialist team to deliver the Wimbledon Park and Lake masterplan, which includes:
- * Randall Shaw Billingham (Architects)
 - * FMG Consulting (Sports Management & Business Planning)
 - * Huntley Cartwright (Cost Consultants)
 - * PPS Group (Public Engagement)
 - * John Phibbs of Debois Landscape Survey Group (one of the world's leading experts on Capability Brown and 18th century parks and gardens)
- 1.1.3. Project assumptions
The Wimbledon Park and Lake Masterplan must:
- * Protect and enhance the ecological and heritage requirements wherever possible, whilst offering options for increased opportunities for greater engagement & participation in sports, cultural and leisure activities.
 - * Embrace sustainable travel options as a means of access to Wimbledon Park.
 - * Be operationally achievable and affordable, seeking to create a sustainable future for Wimbledon Park and Lake, whilst improving its long term financial viability.
- 1.1.4. Project Brief
The scope of work for the project include the following:
- * Approach the Masterplan with a blank canvas, producing a clear and comprehensive 'as is' baseline position for Wimbledon Park and Lake, taking account of all constraints and the severity of those constraints.
 - * Carry out investigations on the silting up of the Lake and produce a fully costed solution with an implementation plan and an on-going costed management plan.
 - * Take into account the need to satisfy the Environment Agency's (E.A) Flood Risk Assessment and the Reservoir Act, in respect of the lake.
 - * Produce five flexible design concept options with high level business cases that respond to and reflect future recreational, sporting, cultural and leisure needs in so far as they can be predicted at this time, whilst being respectful of the history of the park, the landscape and environmental assets and ensuring that future opportunities, constraints and risks are all clearly identified and logged for further use should the concept designs be taken forward.
 - * Present these concept options to Council for shortlisting for public consultation (three options maximum to go out to public consultation).
 - * Organise and manage a public consultation process on the Council's three preferred options

- * Following those processes, develop a final fully-costed (revenue & capital) Masterplan for Wimbledon Park and Lake, taking account of all of the opportunities, competing interests and restrictions and ensuring that the proposals are encompassed within a new landscape for Wimbledon Park, with a business case for Council approval.
- * Produce the final output in a format suitable for its adoption as Supplementary Planning Documents by both Merton and Wandsworth Councils.

1.2. Site Information

- 1.2.1. Location and Context
Wimbledon Park is a 27-hectare, Grade II* registered, public park, 9 hectares of which comprise the Lake. It lies in the north of the London Borough of Merton (OS Grid reference TQ 24739 72685) on the boundary with the London Borough of Wandsworth. The northern third of the Park lies entirely within Wandsworth. It is bounded on the east by the London Underground District Line, to the south by Home Park Road and residential development, to the east by Wimbledon Park Golf Course, and to the north by Wimbledon Park Road and residential development.
- 1.2.2. Along with adjacent land comprising Wimbledon Park Golf Course and The Wimbledon Club, it forms a larger area called ‘Wimbledon Park’ – the remains of a large designed historic landscape associated with a series of houses on the edge of Wimbledon Village to the south which is listed at Grade II* on Historic England’s Register of Parks and Gardens of Special Historic Interest.

For the purposes of this report, Wimbledon Park (‘the Park’) refers to only the land managed by the London Borough of Merton.

- 1.2.3. Land Ownership and Interests
The Park is owned, funded and operated by London Borough of Merton.
- 1.2.4. There are a number of leaseholds and tenancy agreements within the Park, comprising:
- * Leasehold: Wimbledon Park Café, Metropolitan Police (White Pavilion) Wimbledon Park Golf Club (Lake – for Wimbledon Park Angling Club)
 - * Service Tenancy: Bowls Pavilion
- 1.2.5. The operation of the facilities and activities within the Park are all within the Environment and Regeneration Department at the Council, and managed through two teams - the Leisure & Culture Development and Greenspaces Team. It is maintained by contractors, currently IdVerde. Property that is leased out is handled by the Strategic Property Team and repairs and maintenance of buildings and IT is carried out by the Council’s Corporate teams.
- 1.2.6. Adjoining land falls under separate ownership, comprising:
- * All England Lawn Tennis Ground plc (leased to Wimbledon Golf Club)
 - * The Wimbledon Club
 - * London Underground Ltd
 - * Private residences
- 1.2.7. The borough boundary runs through the Park, hence the northern third of the Park is set geographically within the London Borough of Wandsworth and thus the planning authority resides across both boroughs. However, Merton pays solely for its management and maintenance.

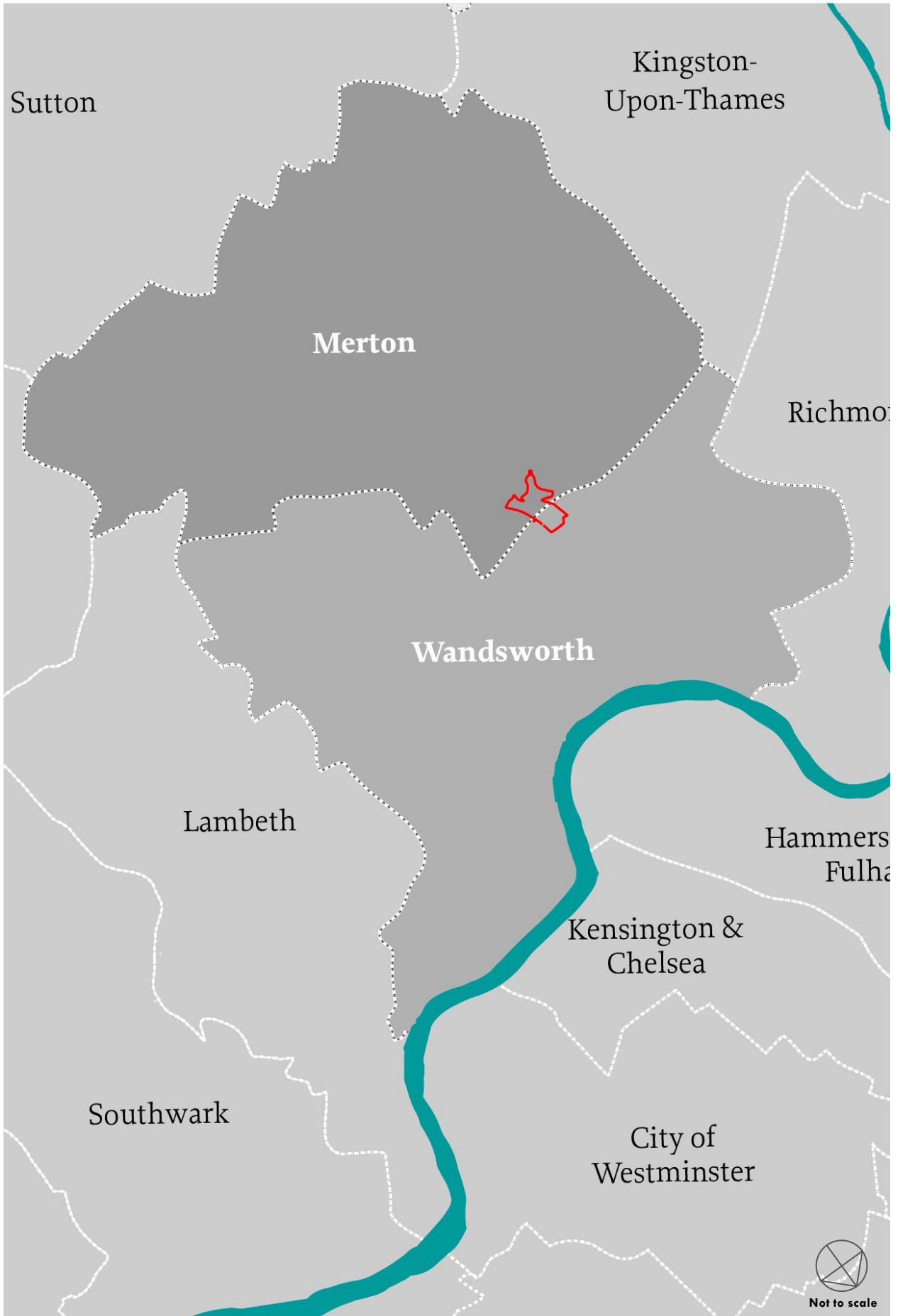


Fig. 1.0 Site Location



Fig. 1.1 - Site Plan

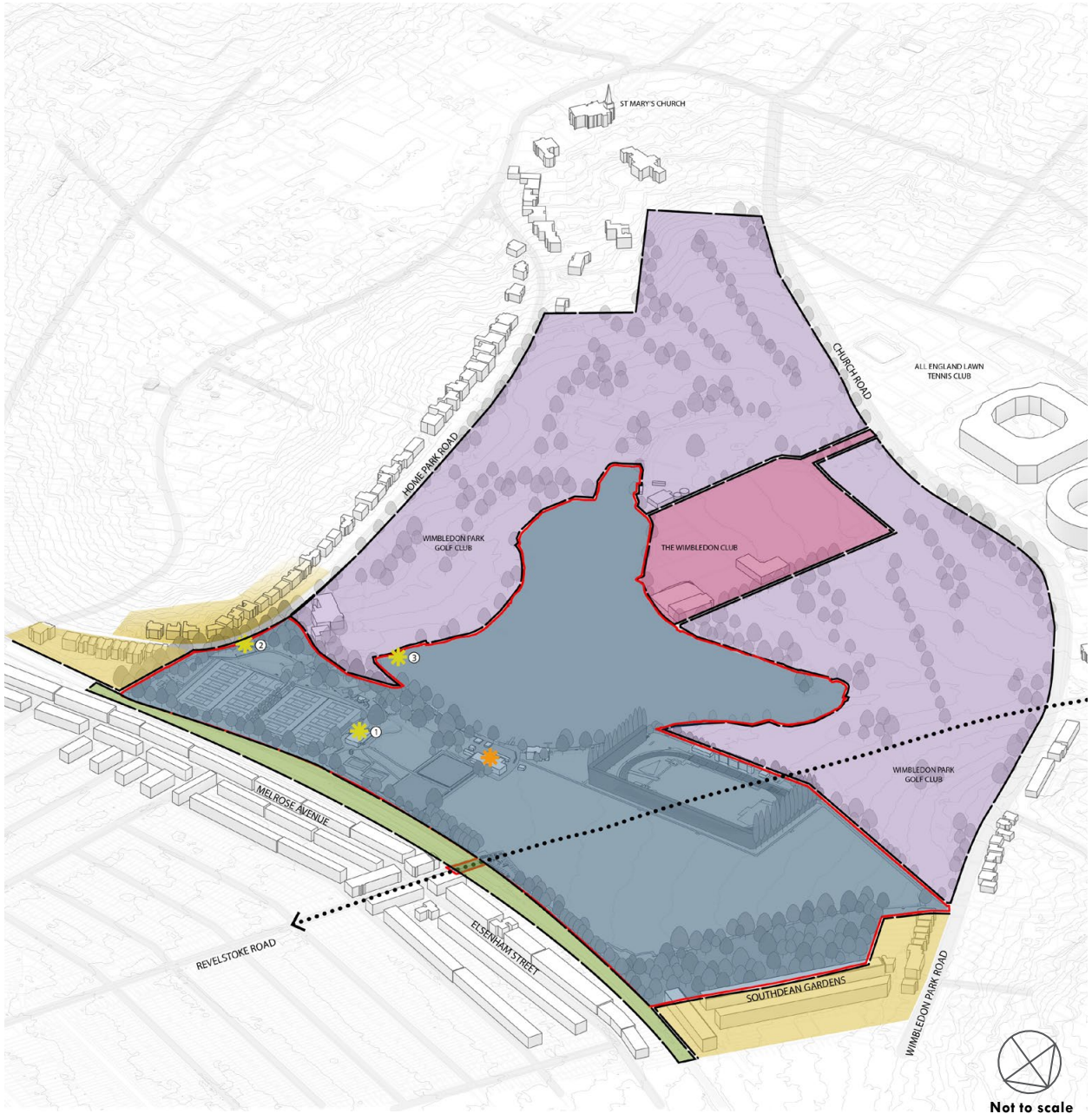


Fig. 1.2 Land Ownership

Legend









- | | | | |
|---|------------------------------|---|-----------------------------|
|  | London Borough of Merton |  | Borough Boundary |
|  | All England Lawn Tennis Club |  | Council Service Tenancy |
|  | The Wimbledon Club |  | Leasehold |
|  | Transport for London | ① | Wimbledon Park Café Ltd |
|  | Private Housing | ② | Metropolitan Police |
| | | ③ | Wimbledon Park Angling Club |



Fig. 2.0 Site Survey (existing condition)

- | | | | |
|---------------------------------|---------------------------------|-----------------------------------|--|
| 1. Lake | 10. Home Park Road entrance | 20. Café Building | 28. Athletics Buildings |
| 2. Lake Embankment / Dam | 11. Revelstoke Road car park | 21. Parks Maintenance / Staff | 29. Athletics Track |
| 3. Waterfall Garden | 12. Woodland car park | 22. Crazy Golf | 30. Angling |
| 4. Brook | 13. Golf Club boundary | 23. Beach Volleyball | 31. Refer to Fig 2.2 For Hydrology and Drainage features |
| 5. "The Great Field" | 14. Railway embankment | 24. (Bowls) Pavilion | |
| 6. Horse Close Wood | 15. White Pavilion | 25. Bowling Green 1 | |
| 7. Ashen Grove | 16. Toilet Block | 26. Bowling Green 2 (Picnic Area) | |
| 8. Revelstoke Road entrance | 17. Play Area, incl. Water Play | 27. Watersport & Outdoor Centre | |
| 9. Wimbledon Park Road entrance | 18. Toddler Play Area | | |
| | 19. Tennis Courts | | |

2.0 Site Appraisal & Project Need

2.1. Introduction

- 2.1.1. This sections sets out an appraisal of the Park, producing a clear and comprehensive 'as is' baseline position and identifying key opportunities as well as limiting factors and the severity of those limiting factors to the masterplan.
- 2.1.2. To assist with this process, Merton Council and its consultants were also informed by a Focus Group made up of key local representatives to understand the opportunities and constraints relevant to the development of the masterplan. This involved a series of workshops in the period December 2015 through February 2016.
- 2.1.3. The Focus Group comprised nominated representatives from each of the following organisations:
- * Friends of Wimbledon Park
 - * Wimbledon Park Bowls Club
 - * The Hercules Athletics Club
 - * The Wimbledon Club
 - * The All England Lawn Tennis Club
 - * Merton Council
- 2.1.4. The following organisations were invited but did not send any representatives to participate:
- * The Wimbledon Park HeritageGroup
 - * The Wimbledon Park Golf Club
 - * Wandsworth Council

2.2. References

- 2.2.1. A number of previous studies and other reference materials have been consulted in preparing this Masterplan, including:
- * Wimbledon Park Restoration Proposals: A feasibility study for heritage park conservation in the London Borough of Merton (Glasspoole Thomson Landscape Architects, March 1998)
 - * Wimbledon Park List entry Number: 1000852.
 - * What remains of Capability Brown's Woods (Dr D. G. Dawson)
 - * Capability Brown's Wimbledon Park, in His Day and Ours (Tony Matthews, Dave Dawson et al)
 - * Silt and Water Survey: Wimbledon Park Lake (Mid Kent Fisheries, February 2008)
 - * Wimbledon Park Lake: Report on a Statutory Inspection under Section 10(2) of the Reservoirs Act 1975 (Stillwater Associates Ltd, April 2014)
 - * Wimbledon Park Lake: Supervising Engineer's Annual Statement under Section 12(2) & Section 12(2A) of the Reservoirs Act 1975 (Stillwater Associates, 2015)
 - * Wimbledon Park Lake: Supervising Engineer's Annual Statement under Section 12(2) & Section 12(2A) of the Reservoirs Act 1975 (Stillwater Associates, 2016)
 - * Ecology Handbook 29: Nature Conservation in Merton (London Ecology Unit, May 1998)
 - * GiGL Protected Species Data for Wimbledon Park (provided by Merton Council on 10 March 2016)
 - * Damage to Horse Close Wood, Wimbledon Park (Dr D. G. Dawson, October 2007)
 - * Horse Close Wood Management Plan (Dr D. G. Dawson, 2015)
 - * Long term trends in the birds of

- Wimbledon Park (Dr D. G. Dawson)
- * Canada Geese at Wimbledon Park (Dr D. G. Dawson, 2015)
- * Special species and special places for nature in the Wimbledon Park Grade II* Heritage Site: a map, schedule and background (Dr D. G. Dawson, 2016)
- * 'Errors and omissions in the consultation materials for the future of Merton's Wimbledon Park' (Dr D. G. Dawson, July 2016)
- * Wimbledon Park Lake (Dr D. G. Dawson, 2017)
- * Sport in the Grade II* Heritage Landscape known as Wimbledon Park - draft (Friends of Wimbledon Park, 2017)

2.3. Landform and Hydrology

- 2.3.1. Wimbledon Park sits within the River Wandle catchment, on gently undulating land which rises to a ridge over 50 metres above ordnance datum (AOD) to the south west and west.
- 2.3.2. The Park itself is relatively flat, slopes uphill from a height of c. 13 metres above ordnance datum (AOD) in the east at the brook outlet alongside the London Underground District Line to c. 25 metres AOD in the north west at the Wimbledon Park Road entrance. The Lake's dam and areas within the Park levelled to create the tennis courts, crazy golf, bowling greens, and athletics track constitute substantial alterations to natural landform. Moreover, the London Underground District Line runs along a substantial embankment immediately outside of the Park to the east before running into a cut as it approaches Wimbledon Park station.
- 2.3.3. The Lake was created in 1765 by Lancelot 'Capability' Brown as part of his landscaping work for Earl Spencer. Brown constructed a 340 metre-long dam across a valley to form the lake's north-western edge and hold back water from watercourses in the west and south west. The present form of the lake conforms generally to its original design, although the southern tip was filled in, truncating it slightly. Its current surface area is c. 9 hectares.
- 2.3.4. The watercourses feeding the Lake are now mostly underground, with surface areas occupied by the Wimbledon Park Golf Club, the AELTC and extensive residential development. The watercourses feeding the lake have been adopted as Thames Water surface water sewers, mostly under the road network, including Church Road. There is an inlet at its south west corner, and another inlet as well as a drain from the AELTC in its north west corner. The Lake drains via an overflow weir at the southern end of the dam into a pond/ stilling basin in Ashen Grove Wood just outside of the Park boundary.
- 2.3.5. This pond discharges via a trash screen and pipe into the open course of the Brook which runs through the Park, under the cafe via a culvert, then in an open channel to exit the Park via a trash screen and pipe under the railway embankment. There is another outflow (at a lower level) in the middle and steepest section of the dam, feeding an artificial waterfall introduced in 1952 which runs through the Waterfall Garden laid out in 2010 before joining the Wimbledon Lake Brook, an ordinary watercourse. After exiting the Park, the water continues underground for roughly 1km before discharging into the River Wandle at Ravensbury Terrace in Earlsfield.
- 2.3.6. The Lake is to be maintained to a statutory level of 17.47m AOD; but in the past, illegal raising of the level of the overflow weir stop logs has raised the water level within the Lake. However, flooding of, and around the cafe is mainly caused by surface water flooding, capacity of the brook channel and lowpoints, as shown on the surface water risk maps. Overtopping due to prevailing winds have caused subsequent erosion to sheet piles and the crest of the dam.



- 1 Views across the Lake to rising ground to the south west
- 2 South west corner of the Lake, with reed beds
- 3 Stilling basin for Lake in Ashen Grove within Golf Course
- 4 Outlet through Waterfall Garden
- 5 The Brook upstream of the Cafe
- 6 The Brook downstream of the cafe, looking towards the trash screen and pipe under the railway embankment

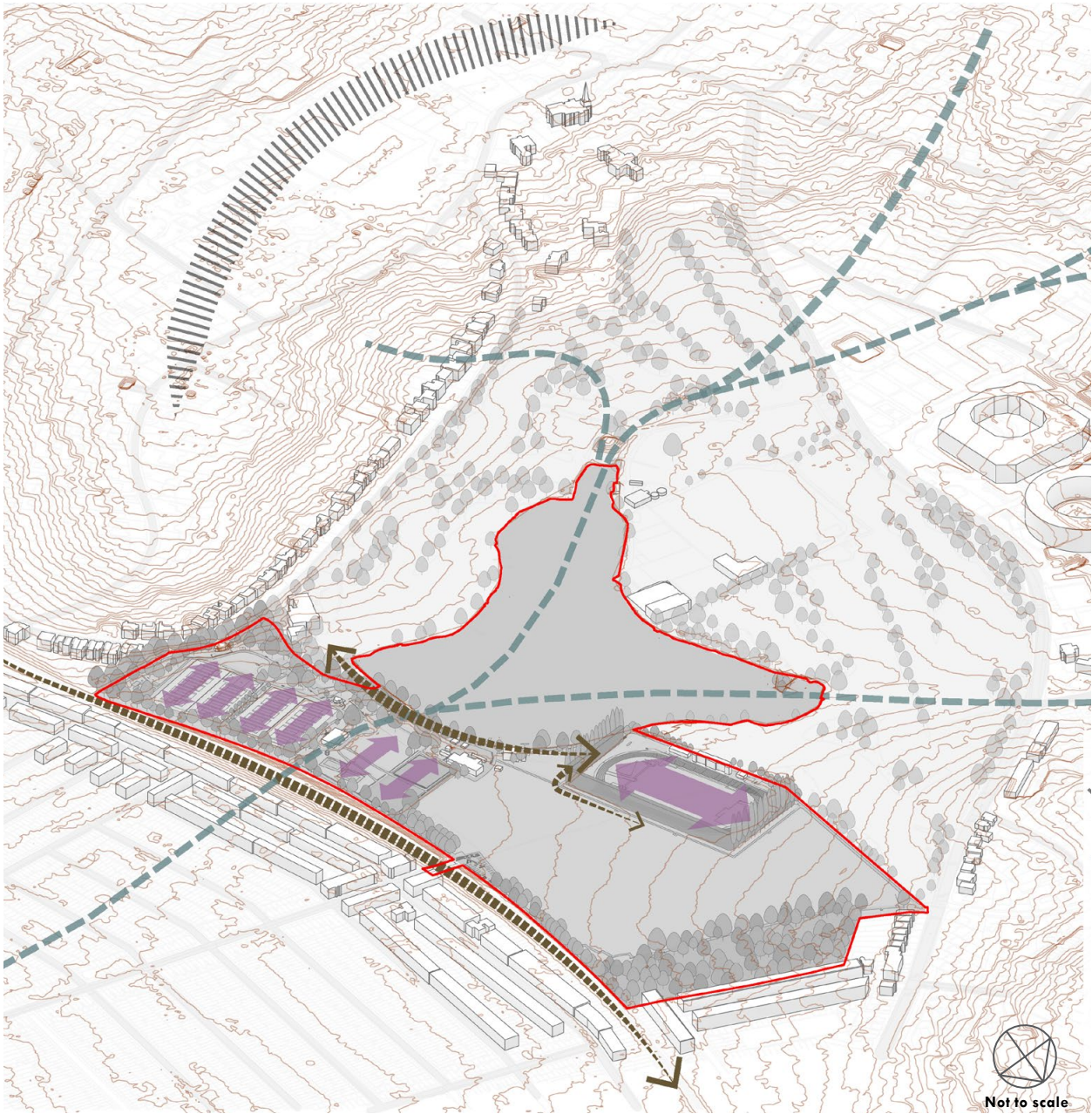
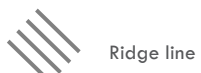


Fig. 2.1 Landform

Legend

Natural features



Ridge line



Valley



Artificial embankment



Metre contour lines

Man made features



Artificial embankment

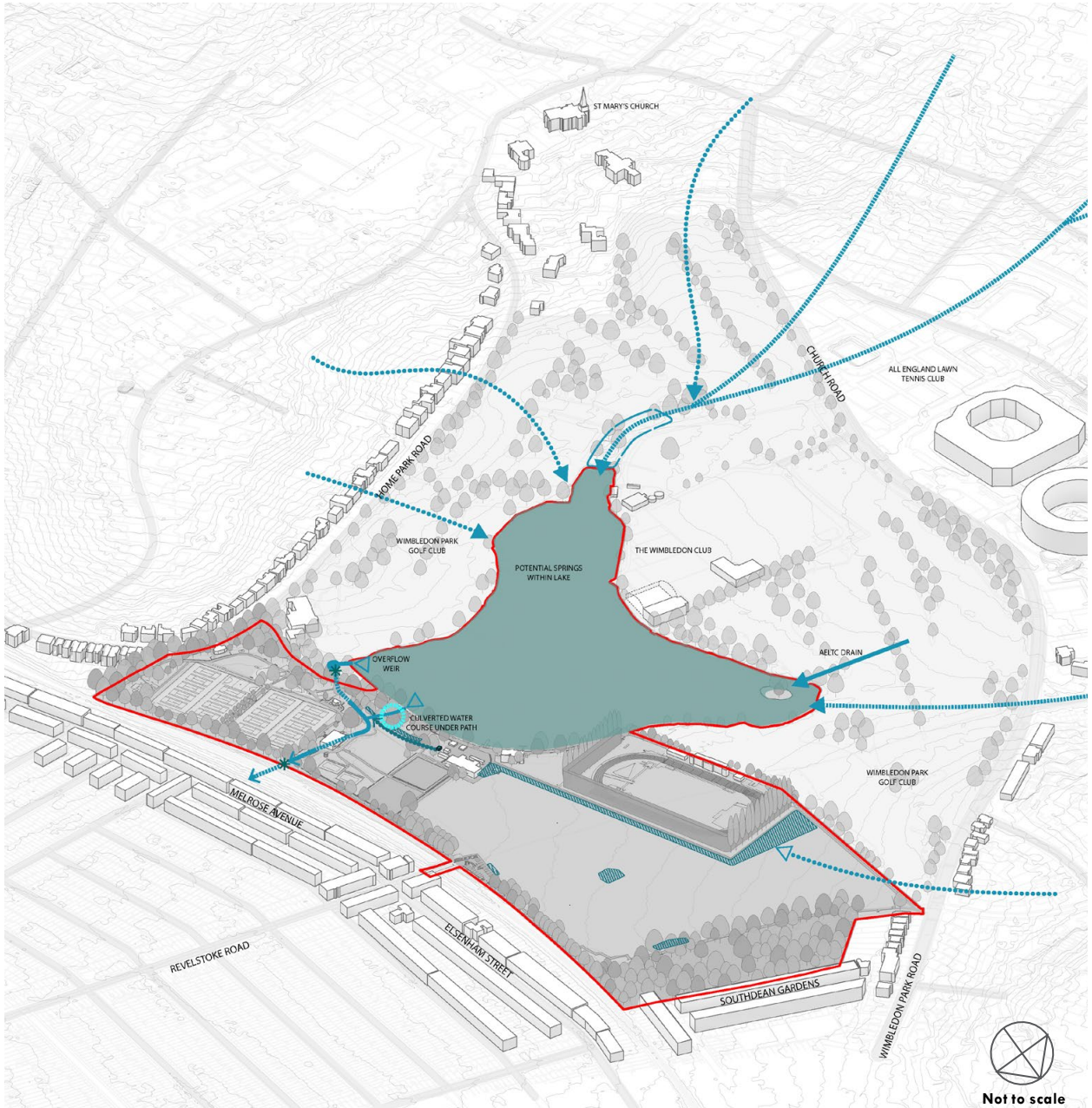














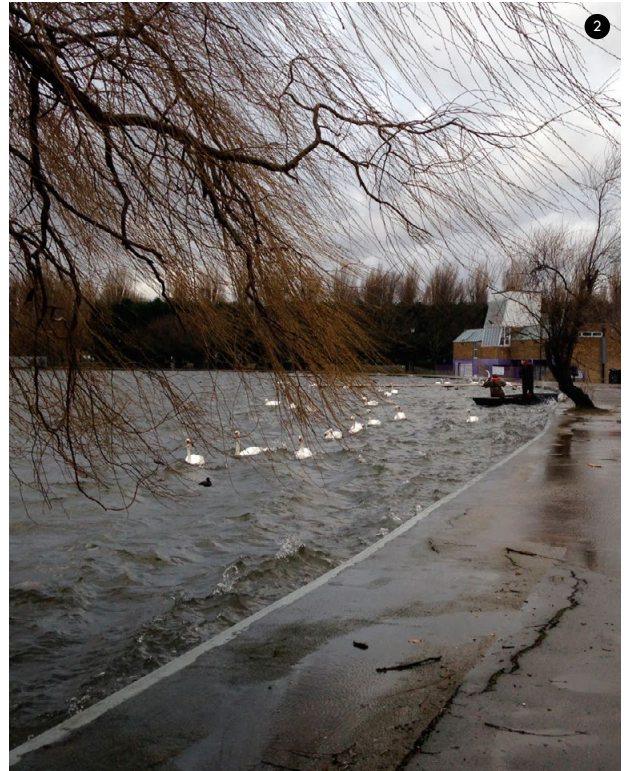
Fig. 2.2 Hydrology and Drainage

Legend

- | | | | |
|---|------------------------|---|---------------------------------------|
|  | Lake |  | Waterfall garden |
|  | Open Water Course |  | Former sheepwash / tank with drainage |
|  | Surface water drainage |  | Stilling basin |
|  | Inlet |  | Litter / debris screen |
|  | Outlet |  | Outline of infilled section of lake |
|  | Culverted water course |  | Area of poor drainage |

2.4. Flooding

- 2.4.1. The Lake is classed as a large raised reservoir under the Reservoir Act 1975. The Lake is regulated by the Environment Agency (EA) in terms of reservoir safety. The reservoir is categorised as ‘High Risk’ (Category A), meaning that human life downstream from the reservoir could be endangered in the event of an uncontrolled release of water from the reservoir.
- 2.4.2. Environment Agency flood mapping shown at Fig 2.3, reveals that significant parts of the Park (and surrounding residential areas to the east) are at risk from surface water flooding, which could see the centre of the Park around the brook and cafe flooded to a depth of over 900mm in high and medium-risk scenarios, with similar depths extending to include the crazy golf, bowling greens and bottom 5 tennis courts in the low risk (most severe) scenario.
- 2.4.3. There is also a risk from raised reservoirs flooding (in the event of a dam breach), with the maximum extent of flooding extending over the central part of the Park (Revelstoke Road Entrance to bottom 15 tennis courts) to maximum depths of over 2 metres within the Park. The EA has published reservoir breach mapping available on www.gov.uk that shows the extents of flooding under a breach scenario also includes parts of LB Wandsworth, and an extract is shown in Fig 2.4.
- 2.4.4. The dam is checked every 10 years, with the last 10 yearly inspection in 2013, when a Section 10 report is completed. It’s water level is inspected and recorded monthly by Merton under the Act. Moreover, an Environment Agency (EA) approved ‘Supervising Engineer’ undertakes annual visits, making recommendations in an annual statement based on their visits under Section 10(3)(c) of the Act.
- 2.4.5. The outstanding action required by the Section 10 report is a Flood Modelling Study to be completed by April 2018. This will assess options around capacity and measures in the interest of reducing risk of failure, which may potentially include various options such as measures to increase freeboard from the water level to the dam crest level, and/or a secondary spillway.
- 2.4.6. The latest annual statement (2016) includes recommendations for certain remedial works to the dam - both within the Park and the adjacent Golf Course. A key issue raised in the annual report is the presence of trees on the crest and back slope of the dam face, which could lead to dam failure. Furthermore, self seeded saplings have also established and the supervising engineer recommends removal of these.
- 2.4.7. The sheet piling on the upstream (Lake) face of the dam is in poor condition and deteriorating in some places, with holes at water level or slightly above allowing water to pass through and cause localised ponding / flooding on the dam crest - particularly the dam’s southern end. In areas, the earth and turf on the downstream (Park) face of the sheet piling is worn and eroded, sometimes by as much as 100mm below the top of the sheet piling. Defects within the tarmac path along the dam crest may offer routes for water which overtops the dam, causing further deterioration of the path and localised erosion.
- 2.4.8. The embankment has variable vegetation cover, with areas of longer grass obscuring observations of movement or seepage during inspection and areas of limited turf cover along desire lines and in shade under trees raising the risk of erosion.
- 2.4.9. The Lake averages between 1-2 metres deep, with a deep point of c. 3.85 metres at the eastern end close to the outlet for the Waterfall Garden. There are considerable volumes of silt within the Lake - surveys in December 2015 recorded 72,000m³ of silt, equating to approximately 50% of the volume of the Lake.



- ¹ Overflow weir at outlet in south east corner of the Lake
- ² Windy weather in winter causing the Lake to overtop the dam
- ³ Localised erosion and deteriorating sheet piling on the dam

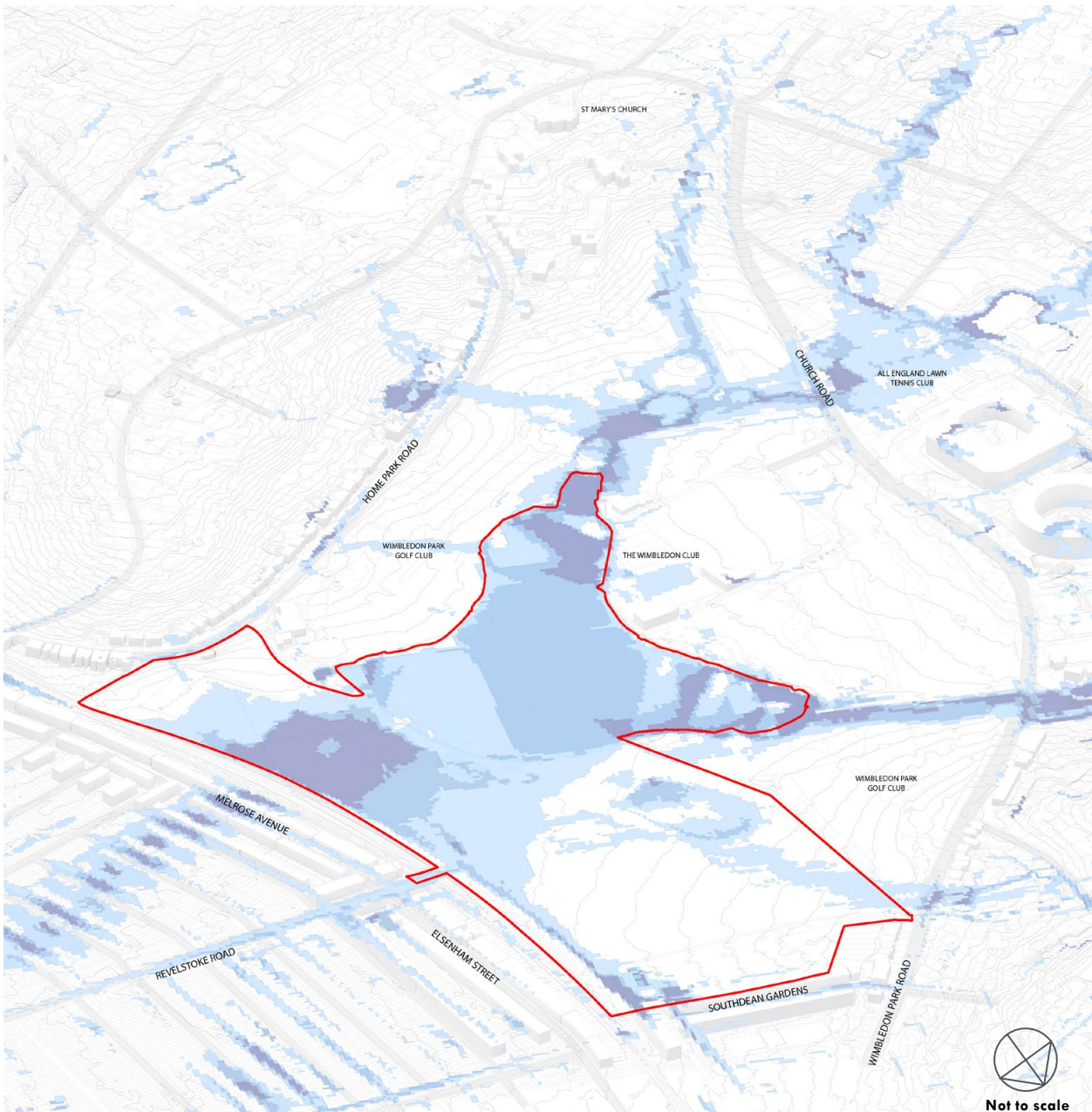


Fig. 2.3 Long Term Flood Risk: Surface Water Flooding

Based on: <https://flood-warning-information.service.gov.uk/long-term-flood-risk/map?eastings=524800&northings=172500&address=100022685635&map=SurfaceWater>

Legend




-  Low Flood Risk from Surface Water
-  Medium Flood Risk from Surface Water
-  High Flood Risk from Surface Water



Fig. 2.4 Long Term Flood Risk: Reservoirs Flooding and Drainage

Based on: <https://flood-warning-information.service.gov.uk/long-term-flood-risk/map?eastings=524800&northings=172500&address=100022685635&map=Reservoirs>

2.5. Vegetation and Ecology

- 2.5.1. Vegetation types vary across the Park. The centre of the Park has a predominantly mixed ornamental vegetation character, with areas of close-mown amenity grass and ornamental planting around the buildings and facilities. The Park is dominated by close-mown grass of little species diversity.
- 2.5.2. There are numerous trees in woodland areas as well as planted in avenues or as individuals, many of which have string landscape and ecological value. Horse Close Wood in the north of the Park and Ashen Grove in the southwest near the play area (also extending west into the adjacent golf course) provide woodland cover and contain numerous significant trees. Both woodland areas pre-date the public park and were significant elements within the historic designed landscape (see next section). There is a significant, freestanding historic oak tree north of the disused bowling green. The Friends of Wimbledon Park have developed a management plan for woodland within the Park, which they are working to implement with the Council.
- 2.5.3. Avenues of mature Poplar trees run north and south from the Revelstoke Road car park at the eastern edge of the Park alongside the railway embankment. An avenue of Yew lines the path between the upper and lower Tennis Courts.
- 2.5.4. Ornamental hedges run along the top of the Lake embankment, around the bowling greens and along paths near the White Pavilion in the south of the Park. A tall line of Lleylandii trees and even taller, mature fastigate Poplar trees surround the Athletics track.
- 2.5.5. A substantial wildlife hedge runs down the border with the adjacent golf course in the north west of the Park and further wildlife hedges have been established along the District Line embankment, together with the line of mature Poplar trees alongside the railway embankment. An avenue of Yew runs along a path between the upper and lower Tennis Courts.
- 2.5.6. Currently, wetland and marginal planting around the Lake is limited to small stretches of the shore bordering the golf course. Aquatic planting within the Lake has also deteriorated in recent years, affected by water levels, nutrient levels from run-off and excessive wildfowl excrement, and decreased visibility due to disturbance from wind and bottom feeding fish.
- 2.5.7. By means of contrast, the Wimbledon Park Golf Club generally exhibits more of the character of an historic parkland, with a number of old parkland trees, some planted as part of the designed landscape, as well as newer ornamental species.



Fig. 2.5 Existing features of significance for nature conservation

Legend

- | | | | |
|--|-------------------------|--|-------------|
| | Old woodland | | Lake |
| | Old trees of importance | | Lake margin |
| | Young woodland | | Brook |
| | Hedgerow | | |



Fig. 2.6 Vegetation Types






Legend

- Mown grass
 - Woodland understorey
 - Ornamental planting
 - Lake edge vegetation
- Ornamental hedge
 - Wildlife hedge



Fig. 2.7 Trees

Legend

-  Large tree
-  Medium tree
-  Small tree / large shrub
-  Leylandii Cypress hedge
-  Avenue

2.6. Historic Environment

- 2.6.1. As described in Section 1.2.2, the park and lake form part of a nationally important historic landscape listed at Grade II* . The historic development of designed landscape is described in detail in other reports¹, so this section sets out only a brief summary.
- 2.6.2. Originally, the park formed part of a larger historic landscape associated with a series of grand houses on the Vineyard Hill to the south near St Mary's Church. From the late C16, Sir Thomas Cecil created a park on the north-facing slopes of Vineyard Hill overlaying an earlier manorial site. The house and formal gardens increased in complexity and notoriety during the C17, including periods of royal occupation and patronage. In the early C18, the park was purchased by Sarah Churchill, Duchess of Marlborough, who involved leading figures in landscape design in the development of a new house, improvements to the gardens and overseeing a massive extension of the park to the north.
- 2.6.3. From 1764, John Spencer, 1st Earl Spencer employed Lancelot 'Capability' Brown to further improve the park in the English Landscape style, including (not least): creation of the lake; introducing winding drives with filtered views across parkland; planting numerous trees, clumps and woodland belts; and composing selected views, including a view west from the dam towards St Mary's Church and the wooded horizon.
- 2.6.4. From 1846, subsequent owners sold off much of the park for housing development. Parts of the park were leased to or purchased by various sports clubs, including the Golf Club (1890), The Wimbledon Club (1899) and the Bowls Club (1909). In 1889 the London and Southern Railway (now the District Line) cut through the eastern part of the park.
- 2.6.5. The area of the historic park that became the public Park came into the possession of local government in 1912, and was developed as a recreation ground with tennis courts, bowling greens and pavilion facilities in 1926. Subsequent periods of investment included construction of the Bowls Pavilion (1930s), introduction of the athletics track (1952) and grandstand (1961), and the Watersports & Outdoor Centre (early 1970s). Further introductions in more recent years have continued to municipalize the park.
- 2.6.6. What survives of the historic designed landscape is now fragmented across multiple ownerships. Modern municipal or functional elements such as tall fencing and Lleylandii trees and poor quality buildings detract from features of historic significance, including the Lake, woodland, historic trees of the C18 landscape as well as key structures and buildings associated with the early C20 public park layout.

¹ See Wimbledon Park Restoration Proposals: A feasibility study for heritage park conservation in the London Borough of Merton (Glasspoole Thomson Landscape Architects, March 1998); Wimbledon Park - List entry Number: 1000852; What remains of Capability Brown's Woods (Dr D. G. Dawson); Capability Brown's Wimbledon Park, in His Day and Ours (Tony Matthews, Dave Dawson et al).

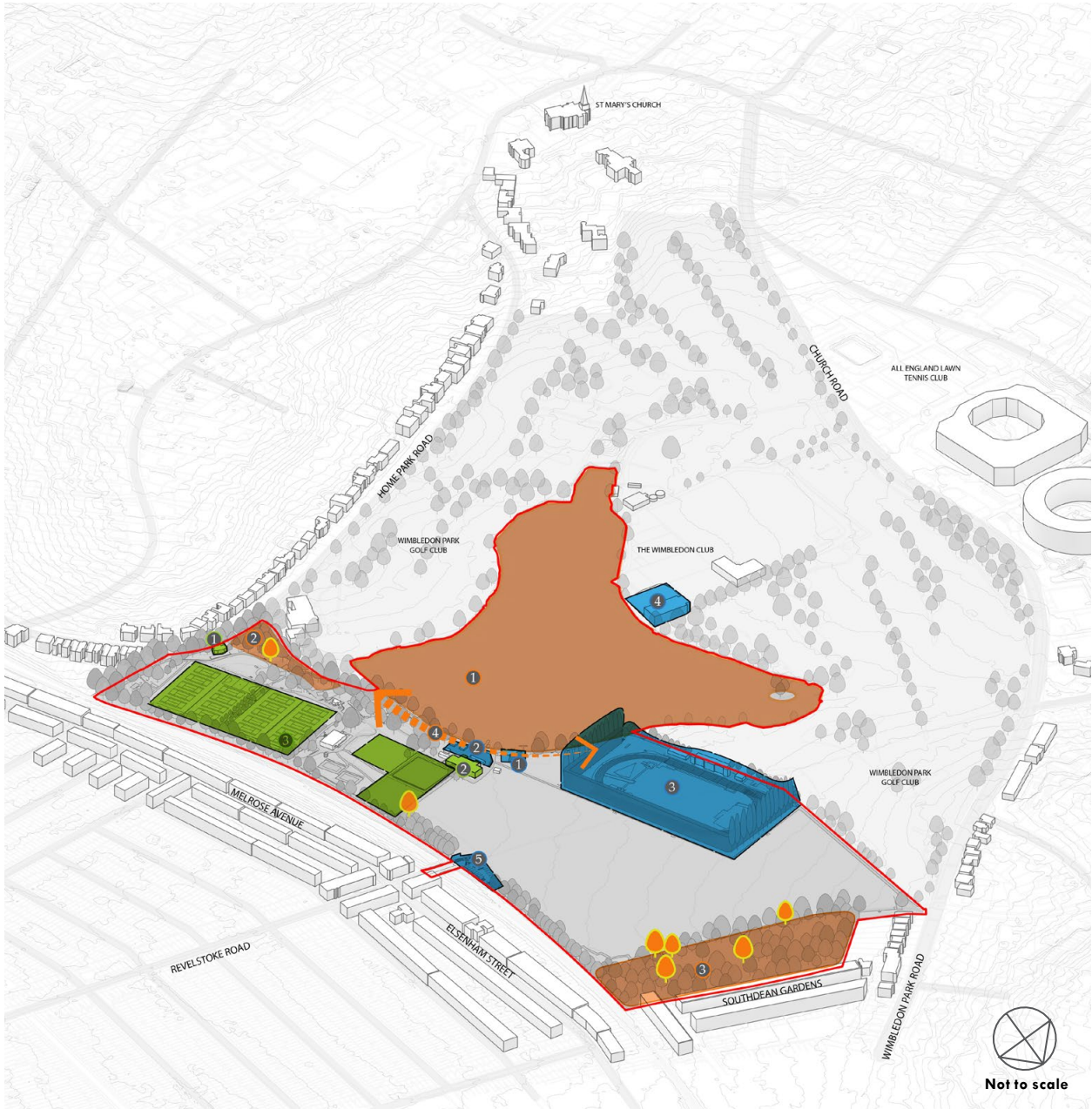


Fig. 2.8 Features of Historic Significance, and features detrimental to Historic Significance

Legend

| | | |
|---|---|---|
| <p> Elements of National/High Significance</p> <p>① lake</p> <p>② Ashen Grove</p> <p>③ Horse Close Wood</p> <p>④ Damn to Lake</p> <p> Old Trees</p> | <p> Elements of Local/ Medium Significance</p> <p>① White Pavilion</p> <p>② Bowls Pavilion</p> <p>③ 1920s recreation ground</p> | <p> Elements detracting from Significance</p> <p>① Watersports & outdoor centre</p> <p>② Storage yard in key location at waters edge</p> <p>③ Boundary infrastructure associated with running track</p> <p>④ Lakeside structures at Wimbledon Club</p> <p>⑤ Car parking</p> |
|---|---|---|



Fig. 2.9 Historic landscape analysis - 19th century designed landscape of Wimbledon Park

18th-

Legend









- | | | | |
|---|------------------------------------|---|-------------------------|
|  | Open parkland with scattered trees |  | Key view |
|  | Arable fields |  | Drives |
|  | Historic extent of lake |  | Old trees of importance |
|  | Water course | | |
|  | Woodland extends | | |



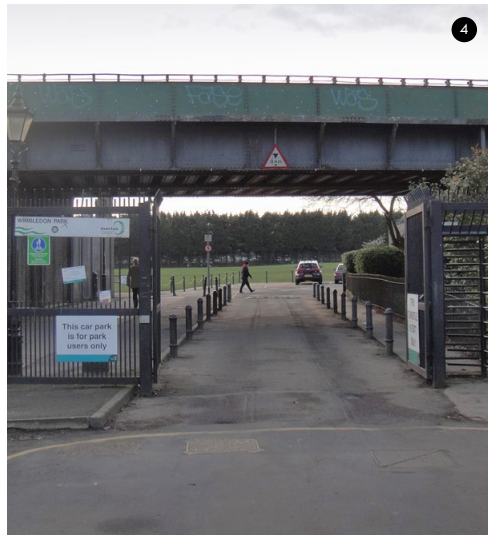
Fig. 2.10 Historic landscape analysis - 20th-21st century development of Wimbledon Park (Recreation Ground)

Legend

- 1920s
- 1930s
- 1940s
- 1950s-1970s
- 2000's

2.7. Access and Movement

- * Paths
 - * Slopes / inclines / steps
 - * Entrances (pedestrian & vehicle)
 - * Car parks
 - * Capital Ring Long Distance Route
 - * Cycle Routes
 - * Obstructions / lost routes
- 2.7.1. The Park is accessed by a network of paths, mostly tarmac with concrete edging.
- 2.7.2. A network of woodchip paths follow the main routes through Horse Close Wood.
- 2.7.3. The Park lies within close walking distance from Wimbledon Park and Southfields stations on the London Underground
- 2.7.4. The Capital Ring route runs north-south through the east of the Park, and a cycle route runs through the north of the park from Revelstoke Road to Wimbledon Park Road.
- 2.7.5. The entrance gates were replaced in 2006 in response to a security review of the Park. They are robust, functional and in apparent good working order; however, they are also heavy, utilitarian in appearance, and unsympathetic to a Grade II* historic landscape.
- 2.7.6. The disused utility gate on Home Park Road aligns with an historic path into the Park, which itself follows the approximate line of one of Capability Brown's drives north to the Lake embankment. This should be considered for reopening and connecting into the wider park network.
- 2.7.7. Access via Revelstoke Rd and Wimbledon Park Rd is unwelcoming at present and the carparks would benefit from some low form of screening to reduce their visual impact, while allowing them to remain partially visible, to alleviate the fear of car-crime and allow firework access.
- 2.7.8. Circulation is generally good within the public park, but the main landscape feature; the lake, is surprisingly unconnected with the majority of the public park, both visually and physically. Level change at the dam means that the lake lacks visibility, and is poorly accessible in terms of DDA from much of the east of the park. The fencing around the running track effectively removes direct access from the northern, Wimbledon Park Rd Entrance, making visitors walk round a fenced, locked track to gain access it.
- 2.7.9. Access around the lake is limited to the small section within the public park, on the dam. This limits the overall circulation and enjoyment of the park considerably, to just 18 out of the 27Ha of the publically owned asset.
- 2.7.10. Silting up of the lake further limits access to it by water craft.
- 2.7.11. Path surfacing could be improved generally in many locations.



- 1 Home Park Road entrance
- 2 Closed entrance on Home Park Road
- 3 Access gate in Ashen Grove to stilling basin for Lake
- 4 Revelstoke Road entrance (under District Line bridge)
- 5 Wimbledon Park Road entrance
- 6 Path along Golf Course boundary leading to Wimbledon Park Road entrance (with gate used for the Queue during Wimbledon Fornight on the left)



1



2



3



4

1 Uneven and patchy footpath along top of lake embankment

2 Revelstoke Road car park

3 Tarmac path (in good repair) beside Horse Close Wood

4 Crazy paving underneath the rose arbour in poor condition

5 Woodchip path in Horse Close Wood

6 Closed path / access track along Golf Course boundary through athletics compound, behind clubhouse and grandstand



5



6

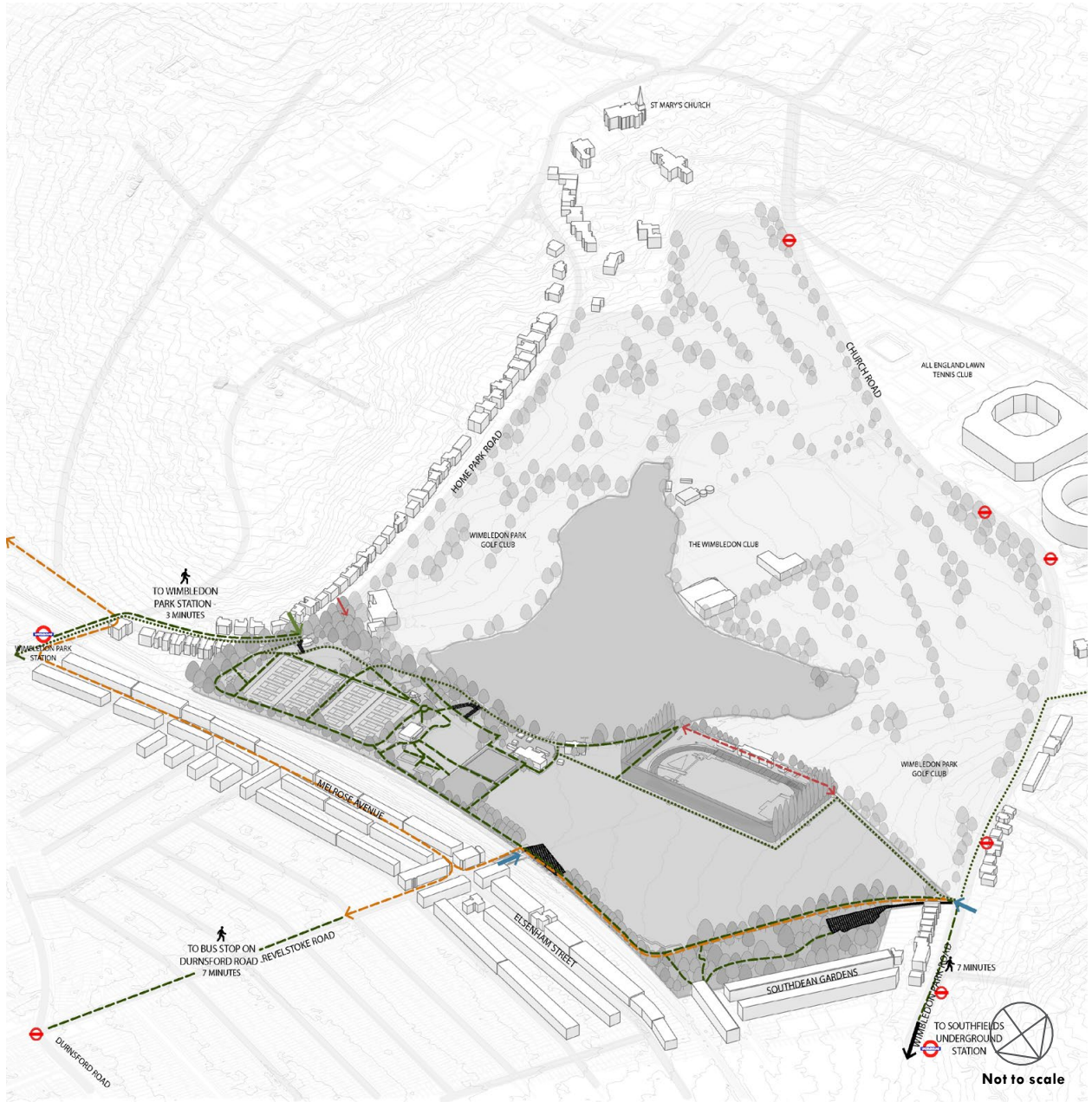












Fig. 2.11 - Access and Movement

Legend

-  Pedestrian path
-  Cycle route
-  Restricted route
-  Capital Ring Walk
-  Steps
-  Pedestrian access
-  Vehicle & pedestrian access
-  Restricted access
-  Tube station / bus stop
-  Vehicle parking

2.8. Views

- 2.8.1. The Park offers a range of enclosed as well as expansive views.
- 2.8.2. The Home Park Road entrance provides access to the top of the White Pavilion, which offers views across the facilities and buildings within the Park. Horse Close Wood forms a wooded horizon to the north, and there are views north-north east across the Wandle Valley (refer to View 1, shown on page 29, 30 & 31).
- 2.8.3. Apart from this elevated view, the south of the Park is visually contained by landform, rows of trees, vegetation and Park structures. Ashen Grove and trees on the Lake embankment screen views to the west, while the District Line embankment and associated vegetation block views to the east.
- 2.8.4. By contrast, the north of the park provides more expansive views across green expanse of the Great Field (refer to Views 2, 4 and 5, shown on pages 29, 30 & 31). Both the Revelstoke Road and Wimbledon Park Road entrances are cluttered with gates, bollards, signage and other site furniture, as well as car parking. The tall Lleylandii hedge and mature Poplar trees surrounding the Athletics Compound block views to the Lake and wider landscape beyond, forming a solid evergreen barrier. Moreover, the Watersports and Outdoor Centre, as well as boat storage and sheds in the yard behind the Bowls Pavilion, further truncate and detract from views to and from the Lake.
- 2.8.5. The broadest views are those looking west-south west across the Lake from the top of the embankment. These take in the adjacent golf course and The Wimbledon Club (which form the rest of the Registered Park and Garden) as well as land rising towards Wimbledon Common further west.
- 2.8.6. St Mary's Church forms a prominent eye catcher, as does Centre Court at the All England Lawn Tennis Club. Lakeside structures at The Wimbledon Club heavily influence the view, and detract from the soft green character of the adjacent golf course (refer to View 3, shown on page 29, 30 & 31).

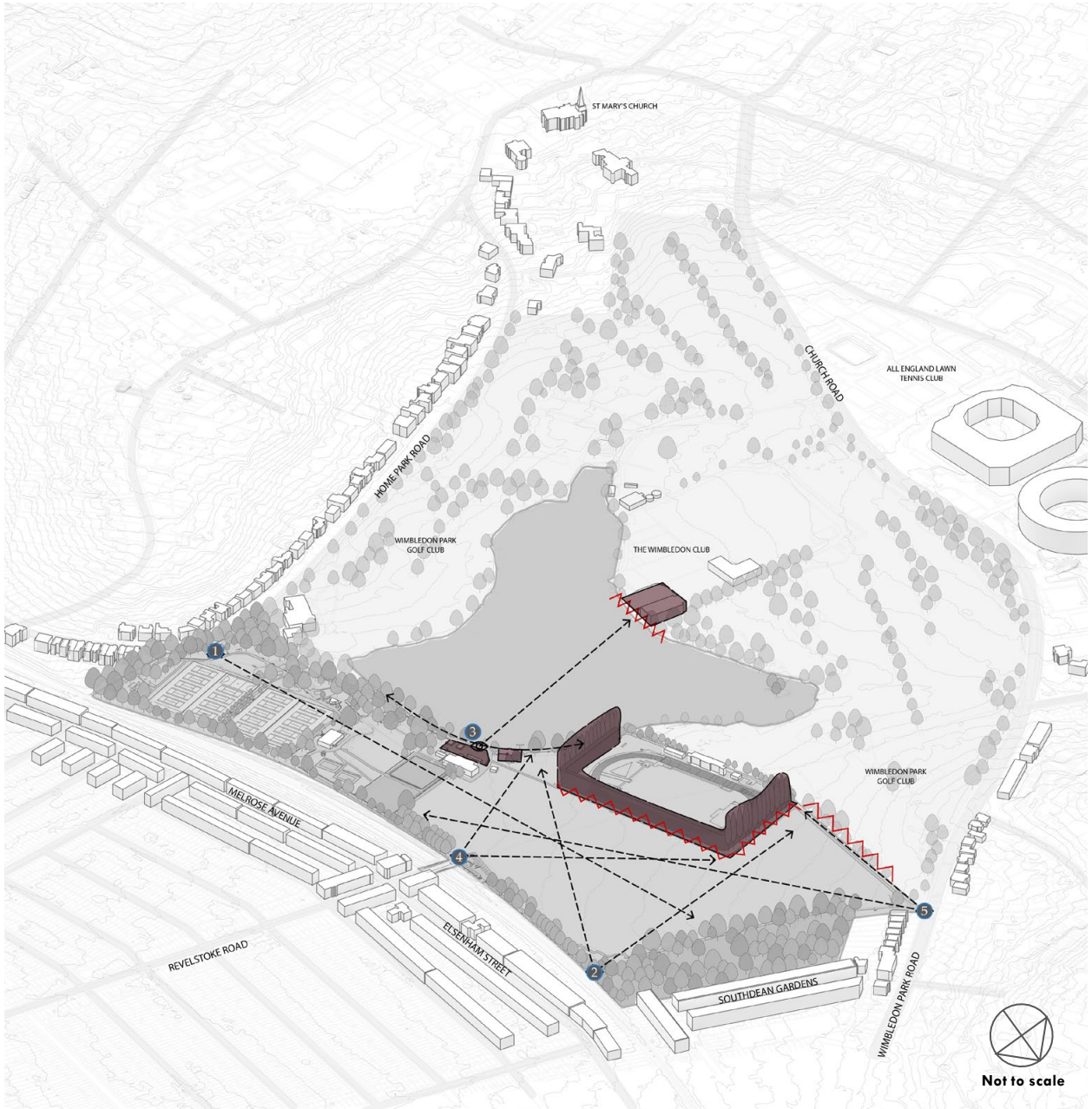





Fig. 2.12 - Views Analysis. Numbers refer to views in photographs overleaf

Legend

-  Key views blocked
-  Elements truncating views
-  Visual detractors to wider landscape

¹ View 1. Looking north from the top of the White Pavilion inside the Home Park Road entrance

² View 2. South from near the south east corner of Horse Close Wood - on the approximate line of one of Capability Brown's drives

³ View 3. West from the edge of the Lake, with the structures at the Wimbledon Club in the distance - on the approximate line of one of Capability Brown's drives



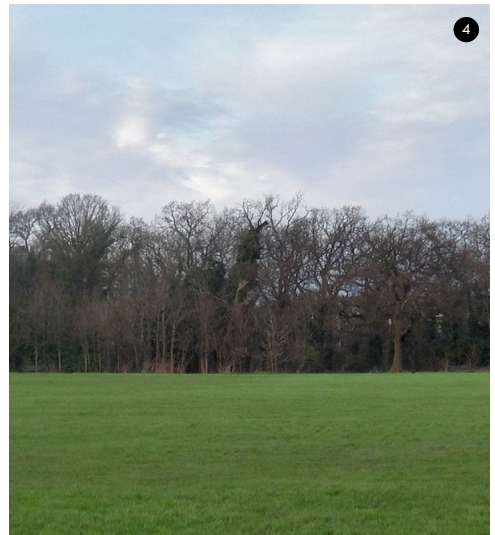


⁴ View 4. South west from near the Revelstoke Road entrance

⁵ View 5. South-south east from inside the Wimbledon Park Road entrance, with the vegetation surrounding the athletics compound and along the golf course boundary screening any views to the Lake or wider landscape to the south-south west

2.9. Uses and Facilities

- 2.9.1. The Park is a significant and much-valued open space for both Merton and Wandsworth. Its primary use is for informal recreation – walking (with or without dogs), exercise, playing, relaxing, enjoying the outdoors, and socialising – which is reflected by significant areas of amenity landscape such as mown grass, paths and seating, and ornamental planting and features such as the Brook and the Waterfall Garden.
- 2.9.2. Importantly, this informal recreation includes valuable opportunities for access to nature, particularly the habitats and species present in the Lake, Horse Close Wood, Ashen Grove, the Brook, numerous mature trees, hedgerows and ornamental planting.
- 2.9.3. The Park also includes a significant range of facilities for formal sports provision including tennis, bowls, crazy golf, beach volleyball, athletics and watersports. The buildings and facilities associated with these uses are outlined in more detail in the following pages and in Section 4.
- 2.9.4. There are two separate children’s play areas in the south of the Park – one catering for smaller children, and a larger area for a mix of ages and including the Elizabeth Pool water play feature.
- 2.9.5. The Wimbledon Park Angling Club access the Lake via the golf course.
- 2.9.6. The Park hosts numerous regular and one-off events throughout the year, including an annual fireworks display and The Queue during Wimbledon Fortnight. These are popular and valuable for income generation, but place specific pressures on the Park’s infrastructure, character and management.



- 1 Amenity landscape beside the Lake
- 2 Ashen Grove wood
- 3 Tennis courts with Cafe building in the distance
- 4 Horse Close Wood
- 5 Boats for the Watersports & Outdoor Centre
- 6 Car park in Horse Close Wood



1



2



3



4

- 1 Larger play area, with Elizabeth Pool water play
- 2 Crazy Golf
- 3 Athletics track and grandstand
- 4 Bowling Green
- 5 Waterfall Garden
- 6 Beach Volleyball



5



6



Fig. 2.13 - Land Use

Legend

| | | | |
|--|--|---|---|
|  Amenity landscape |  Tennis |  Children's Play |  Facilities |
|  Woodland |  Picnic areas |  Water play & pump | 2. Cafe |
|  Lake & Watersports |  Bowls |  Athletics | 2. Toilets |
|  Waterfall garden |  Crazy golf |  Vehicle parking | 3. White Pavilion |
|  Volleyball |  Angling |  Dog free area | 4. Parks Kiosk |
| | | | 5. Bowls Pavilion |
| | | | 6. Watersports & Outdoor Centre |
| | | | 7. Athletics Stadium |
| | | |  Golf line of play over lake |

2.10. Existing Buildings

- 2.10.1. **The White Pavilion**
The White Pavilion was constructed in 1925. Its plan is a stretched octagon, with a flat roof which forms an entrance terrace to the Park from Home Park Road, with a staircase descending around it. Originally intended to have an upper storey with tiled roof and chimneys, it has reportedly been used in the past as a nursery and playgroup base.
- 2.10.2. It is rendered and appears to be of concrete construction, although this should be confirmed. It has in recent years been used as a base for the Metropolitan Police, but is reportedly now relatively unused by them. Parks staff do not have keys and access has not been made available. It is reported that the Police carried out internal renovations and installed WCs and other fittings. Its gross internal area is approximately 75m².
- 2.10.3. **WC Block**
The freestanding WC block is sited close to the main playground area. External walls are finished with a heavily textured render, and the roof is of tile-effect profiled metal sheet, now very mossy. It was extensively refurbished fairly recently but is poorly maintained internally and inadequately cleaned. It provides a male WC area with two cubicles, three urinals and a single handbasin, a female WC area with four cubicles and two handbasins, a baby change room and a unisex accessible WC. Its gross internal area is 26m².
- 2.10.4. Freestanding WC blocks within parks are often vulnerable to vandalism due to lack of surveillance, and there is a perceived [generally unjustified] risk of 'lurkers' in and around such isolated structures. The inadequacy of the current cleaning regime is exacerbated by all the spaces being directly accessed from external areas, without lobbies or entrance mats. Hence the interior gets muddy and leaves and other debris blow in.
- 2.10.5. The building was refitted recently, but this installation is already suffering from lack of maintenance. Poor space standards make it difficult for ambulant disabled people to use, or for parents with buggies or accompanying small children. There is inadequate handbasin provision
- 2.10.6. **Hut**
The freestanding hut is sited close to the beach volleyball courts south east of the café. This serves as a booking / ticket sales point for use of park facilities such as tennis, beach volleyball and crazy golf.
- 2.10.7. The structure is conveniently positioned in the middle of the park, and is also close to the staff mess and storage facilities in the café building; however, it is incongruous with other structures within the park and adds to the general visual clutter in the middle of the park.
- 2.10.8. **Café**
The café is built over a plinth storey which remains from two previous café buildings. The original building was constructed in the early 20th century. The second burnt down around 1989, with the present building being constructed in 1992 closely resembling the original design. The steps leading to the terrace appear original.
- 2.10.9. The steel balustrading and some timber posts were reportedly renewed in 2014, when the interior was refitted, including a completely new kitchen. It has an adjacent gas supply, not connected, perhaps because of fears over fire risk. The total area of the upper ground floor is approximately 150m². The layout of the café provides limited internal seating; it has not been established if this is adequate at peak times.
- 2.10.10. There is a single WC for public use: it is assumed that visitors will use the Playground WC block. One end of the upper ground floor provides Parks' staff accommodation. It includes what are in effect male WCs only.
- 2.10.11. Enclosing walls are of dark brown stained horizontal timber boards, presumably treated with fire retardant, with timber windows. The roof is pitched finished with what appear to be red fibre cement slates. The terrace deck is timber boarded.
- 2.10.12. The basement floor is set significantly lower than surrounding ground level. As a result, drainage pipework, including a raised manhole, run through the space at a height or around 900mm above finished floor level (FFL). Drainage to this area is



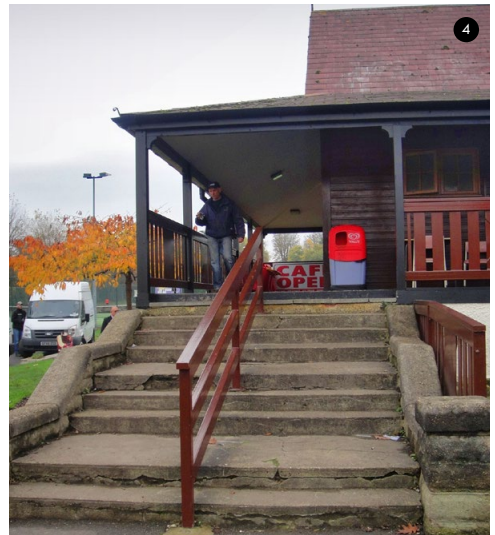
1



2



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4



5



6

- 1 The White Pavilion
- 2 WC Block
- 3 Café
- 4 Café entrance steps
- 5 View of café across park
- 6 Hut for sports booking



¹ Bowls Pavilion

² Bowls Pavilion - view across park

³ Athletics clubhouse

⁴ Athletics grandstand

Existing changing provision

| | User | | Staff | |
|--------------------------|----------------|---------|----------------|---------|
| | m ² | persons | m ² | persons |
| Bowls | 15 | 14 | | |
| Athletics stadium | 76 | 71 | | |
| | 74 | 69 | 12 | 11 |
| Total | 165 | 155 | 12 | 11 |



- known to be very shallow. As a result there is no sanitary provision at this level apart from a cleaner's sink. There is an old iron threshold drain at the main entrance doors but this is assumed to lead to a soakaway or similar, which may be blocked, and the basement floods at times.
- 2.10.13. The basement area is principally of old brickwork but with some more recent blockwork partitions and brick piers. Basement accommodation comprises approximately 150m², mainly used as storage for tools, mowers etc, and includes some storage for tennis and other ball games. The basement is surrounded by an underground walkway, presumably intended to reduce dampness to the stores.
- 2.10.14. **Bowls Pavilion**
The Bowls Pavilion was constructed in the 1930s and now serves a single bowling green. Its dark red-brown brickwork includes attractive tiled details to heads of piers. The roof has been retiled with less attractive profiled concrete tiles. Windows were presumably originally steel Crittall type, probably with curved glass to the front office, but heavier white framed double-glazed replacements have recently been installed. The front is now dominated by an access ramp and its utilitarian handrails; a second ramp leading to the side door is used for classroom access.
- 2.10.15. Internally some original doors and ironmongery, not compliant with Part M, remain, as do considerable areas of the original green wall tiling, some in good condition. Some areas retain parquet flooring, now in rather poor condition but probably restorable.
- 2.10.16. The internal arrangement comprises two pairs of rooms, each pair with folding partitions allowing them to be opened into a single space of about 120m². One room is used as a meeting room and as a classroom space for the Watersports Centre; their equipment is left there due to lack of space within the Watersports Centre itself. The adjacent room of this pair is the Bowls clubroom, which retains many appealing old lockers and is extensively hung with club honours boards, photographs, and memorabilia. It appears that this pair are never opened up to form a single space.
- 2.10.17. The other two interconnecting rooms are in only occasional use, for example by a kickboxing club, and appear less well cared for than the other rooms. There is a kitchen area, fairly recently refitted, and WC and shower areas which have been very recently reconfigured and fitted out. Arrangements appear in some cases very inefficient. The back of house accommodation, mostly comprising WC, shower, and changing accommodation is divided into two ranges which are not interlinked, each relating to one pair of the main rooms. The central space on the main elevation, with its curved glazed front, was once used as a refreshment room but is now used as a single-person office.
- 2.10.18. The first floor flat is accessed via its own front door [new and secure, but incongruous in design] and provides two bedrooms: accommodation is cramped but generally in good condition, and it provides spectacular views across the lake. It has access to the flat roof to the rear of the Pavilion as well as access to the tower via a fixed ladder.
- 2.10.19. The Bowls Pavilion has an internal area of about 410m², excluding the flat and tower.
- 2.10.20. **Athletics Clubhouse**
This was opened in 2010. It is a simple rectangular structure with a timber boarded front elevation and fairfaced blockwork to the other facades. It has an extensive-type green monopitch roof. It houses a clubroom and commentary box together with accessible WCs and a small kitchen. Its internal area is just over 100m².
- 2.10.21. **Athletics Grandstand**
The Grandstand building appears to date from the 1930s: it is concrete-framed and there are concerns that extensive concrete repairs could be necessary. The stand itself sits above ground floor changing rooms and a gym area. Changing and toilet facilities at ground floor level have been recently modified and refitted to provide accessible changing, WC, and shower rooms to both Male and Female changing areas, but the remainder is unmodernized, with very basic provision and finishes, and in poor condition. Accommodation

includes changing for around 70 people at current standards, although female shower provision is very inadequate.

- 2.10.22. There has been some vandalism resulting from an unlocked door from the stand, exacerbated by the lack of surveillance or monitoring: the building is infrequently used and is hidden on all sides by trees planted to screen the track. A utilitarian water storage tank housing on the tower roof has been recently added. There is a wonderful view across the lake from the commentary box. Gross internal areas are about 280m², excluding the stand itself.
- 2.10.23. Additional accommodation is provided by four Portakabins. Two linked cabins are used as a gym and occasional changing room, and two separate ones for storage, eg of hurdles, giving about 70m² of additional floorspace.
- 2.10.24. Watersports & Outdoor Activities Centre
The Watersports & Outdoor Centre appears to date from the 1970s. Built of yellow brick and exposed concrete, most now painted mauve, it is an unattractive building sited tight behind the lakeside path. Although below lake level, making it prone to flooding, its ungainly profile fills the only open views across the lake from Home Park Road. Some brickwork appears to require repointing and other repairs. The concrete may require extensive repairs and should be inspected and tested. The single-glazed sloping patent glazing is due to be replaced, we assume with double-glazed units. The lecture room and staff area are in practice used as additional stores. Internal area is just under 300m², much of it in cramped changing areas and inadequate, unattractive shower/WC areas. Some WCs are externally accessed.
- 2.10.25. It is an unattractive, obtrusive building in a conspicuous location, providing a poor level of facilities despite recent expenditure. Its inadequate storage area impacts on other spaces, both within the Centre and in the Bowls Pavilion. Changing provision is inadequate: reported use of 250 people per day at peak times is enabled only by staggering times onto and off the water, existing changing room capacity is around 70 persons, excluding staff changing provision. It should be noted that the size of the lake is a limiting factor for watersports numbers, and is probably already at a maximum. However, the Centre is significantly underused for 8-9 months of the year, peaking from June-August with school events and children's holiday courses. There is reportedly limited scope for expanding adult courses as the lake is unsuitable for advanced ability levels.
- 2.10.26. There may be duplication of public WCs depending on distance people are prepared to walk. There also appears to be duplication between the various facilities; the extent dependent on hours of peak use, which will need to be explored with relevant staff for each function. Showers are in many cases unsuitable or in poor or inadequate condition.



¹ Watersports & Outdoor Activities Centre

² Watersports & Outdoor Activities Centre - view across park



3.0 Masterplan

Concept Development

3.1. Introduction

3.1.1. This section sets out the response to the Site appraisal and analysis work outlined in Section 2. From this a series of design concepts and five flexible initial options for the spatial arrangement of the Park were produced. These 'Concepts and Initial Options' responded to and reflect future recreational, sporting, cultural and leisure needs in so far as they can be predicted at this time, whilst trying, in varying degrees of success, to be respectful of the history of the park, its landscape and environmental assets. The options tried to ensure that future opportunities, constraints and risks were identified and built into the proposals, or at least identified, for further consideration.

3.2. Concepts

3.2.1. The Park provides valuable play and sports facilities and opportunities not available in many city parks. However, it is dominated by structures and facilities added incrementally over many decades, which has gradually eroded the quality and character of the original designed landscape for which it has been registered at Grade II*.

3.2.2. The piecemeal additions have created a park containing many facilities and buildings which are very much appreciated by those who use them.

3.2.3. However, the piecemeal planning, typical of mid to late 20th century parks creates

an overall sense of clutter and lacks a cohesive landscape framework in which the play and sports can operate. Its historic significance, aesthetic and ecological qualities have suffered as a result and have contributed to the park being on the Heritage at Risk Register (HARR).

- 3.2.4. Many of the buildings have been identified as being unfit for purpose as well as costly to operate and maintain.
- 3.2.5. As a result, the original designed character of composed views, undulating landform and a focus towards the great centrepiece - the Lake - has been largely lost.
- 3.2.6. The consensus of stakeholders and design workshops identified the Lake as the Park's most defining feature, and its greatest asset. The value of the variety of sports and play provision is also recognised.
- 3.2.7. The Park can be categorised in three principle Zones within which the various character, uses and facilities can exist, namely:
- * Lake
 - * Landscape & Parkland (open grass, trees, planting)
 - * People & Activities (sports, play and buildings)
- 3.2.8. On this basis, three main Concepts for the arrangement of these Zones have emerged. All three options allow the various uses and facilities to continue, but to a greater or lesser extent, also allow varying degrees of restoration or re-creation of the quality of the landscape in which they sit.

3.3. Concept 1 :

- 3.3.1. Minimal Intervention
 This Concept reflects generally the existing spatial arrangement of facilities and uses within the Park. It accommodates all existing uses, and keeps any relocation of facilities to a minimum. At the same time, it does little to restore the landscape quality, so the appearance of the Park will not change much from its present condition and there will be limited scope to increase the prominence of the Lake. The building stock is rationalised so it is better fit for purpose and more economically viable to manage and maintain in the future.



Fig. 3.1 Concept 1 - Minimal Intervention

3.4. Concept 2 :

- 3.4.1. Maximising Landscape
 This Concept reflects the Lake's role as the most defining aspect of the wider landscape. It re-unites and focusses the landscape around the Lake, making it more visible and accessible from the Park. It does this by relocating the Athletics Compound to a new site adjacent to the railway line, allowing that land presently occupied by the Athletics Compound to be returned to Park. This will open up views to and from the water, and make the Lake more physically accessible. All the facilities can be largely retained, depending on the level of investment.



Fig. 3.2 Concept 2 - Maximising landscape value and views toward lake

3.5. Concept 3 :

- 3.5.1. Restoration-led
 This Concept reflects generally the original layout of the leisure ground as set out in the 1920s-30s. It responds to decisions which may need to be taken about the long-term viability of some of the uses and facilities in the Park, concentrating active uses in the south of the Park. At the same time, it makes full use of the north of the Park as informal open space, and offers the greatest potential for opening up lost views, restoring character and features of the 18th century parkland and establishing new areas of wildlife habitat.



Fig. 3.3 Concept 3 - Restoration-led

Concepts Benefits and Issues - Comparison Table

| Minimal Intervention | Maximising Landscape Value | Restoration Led |
|---|---|---|
| Benefits | | |
| | Concentrates active recreation and sports to the eastern boundary along the railway line embankment, creating activity corridor away from lake and main views | Concentrates active recreation and sports in the southern part of the Park, reflecting 1920s-30s Recreation Ground layout |
| Potential to retain all existing sports provision | Potential to retain all existing sports provision | |
| Potential for improved habitat and creation of new habitat | Better potential for improved habitat and creation of areas of new habitat | Better potential for improved habitat and creation of larger areas of new habitat |
| | | Potential to reflect layout and character of original 1920s-30s Recreation Ground |
| | Greater potential for revealing and interpreting historic character and Grade II* status | Greatest potential for revealing and interpreting historic character and Grade II* status |
| Negligable potential to re-unite park with lake | Will re-unite park with lake, thus re-uniting fragmented historic landscape | Greatest potential to re-unite fragmented historic landscape |
| | Potential to restore lost views | Greatest potential to restore lost views |
| | Potential to improve views from Park entrances | Greatest potential to improve views from Park entrances |
| Limited potential to improve relationship between Lake and surrounding landscape | Best fit to improve relationship between Lake and surrounding landscape and keep majority of facilities | Greatest potential to improve relationship between Lake and surrounding landscape |
| Represents least amount of change | | |
| Issues | | |
| Retains Running Track and facilities in existing, visually-intrusive locations | Moves some facilities closer to neighbouring residences, although separated by raised railway embankment | Limits areas for existing and future facilities |
| | | Loss of some existing facilities and sports provision from Park (and Borough) |
| Limits potential for an 8 lane track with existing trees and topography. | Slightly larger capital investment, e.g. relocating facilities (but could include 8th lane to running track) | |
| | | Potentially limits opportunities for income generation |
| Limits extent of new habitat creation | More potential to accommodate flood alleviation work | |
| Limits scope of restoring historic parkland character | | |
| Limits potential for revealing and interpreting historic character and Grade II* status | | |
| Limits scope to re-unite fragmented historic landscape | | |
| Limits improvement of connectivity and visual continuity with wider landscape | | |
| Limits restoration of lost views | | |
| Limits potential to improve views from Park entrances | | |
| | Potential for political and community opposition | Greatest potential for political and community opposition |



4.0 Options Development & Consultation

4.1. Introduction

- 4.1.1. This section sets out the public consultation process carried out to inform the Masterplan.
- 4.1.2. The five Initial Options and five Athletics Options outlined in Section 5 were considered by Merton Council, which shortlisted three Options to take forward to public consultation.

| Option | Renamed for consultation |
|--------------------|--------------------------|
| Initial Option 1 | - |
| Initial Option 2 | Masterplan Option 1 |
| Initial Option 3 | Masterplan Option 2 |
| Initial Option 4 | Masterplan Option 3 |
| Initial Option 5 | - |
| Athletics Option A | Athletics Option A |
| Athletics Option B | Athletics Option B |
| Athletics Option C | - |
| Athletics Option D | Athletics Option C |
| Athletics Option E | - |

- 4.1.3. The three Masterplan Options presented in the public consultation are outlined in the following pages.

4.2. Consultation Strategy

- 4.2.1. A public consultation process was organised for the Council's three preferred options.
- 4.2.2. The public consultation lasted from 3 July 2016 to 22 August 2016, and took place online and at a number of public exhibitions during this period.
- 4.2.3. Notification of the consultation took place through a range of means intended to ensure the widest possible range of residents were informed, including a notice in the July edition of My Merton magazine, a notice on Merton Council's website, a series of notices on Merton Council's Twitter feed, press release containing details of the consultation and posters and flyers with details of the consultation placed in prominent locations.
- 4.2.4. A website, email address and community phoneline were all established to encourage public participation.
- 4.2.5. Public exhibitions were held from 11am-3pm on 3 July 2016, 5-7pm on 22 July 2016 and 11am-3pm on 14 August 2016. The exhibition dates were selected to promote attendance of the exhibitions, based on advice from Park staff on the times the Park is busiest. The exhibitions were held in Wimbledon Park Bowls Pavilion, Revelstoke Rd, London SW19 7HX. The venue was chosen for its availability, size, and ease of access. Approximately 519 local people and stakeholders attended the exhibitions.

4.3. Summary of results

- 4.3.1. The consultation exercise resulted in 248 feedback forms received in paper format, and a further 710 responses received online ahead of the deadline.
- 4.3.2. Results show that the Park is well-used by respondents: the majority of respondents said that they used the Park ‘frequently’ or ‘often’ (54%) without providing a specific number of visits a week. Most commonly, respondents use the Park for walking (69%), as well as a wide range of other uses.
- 4.3.3. There is a clear preference visible in responses to the consultation for limited intervention in the Park. 59% of respondents said they favoured the ‘minimal intervention’ concept, while 53% of respondents supported Masterplan Option 1 because it represents least change. This was the Masterplan Option 1 most frequently preferred by respondents.
- 4.3.4. The driver of this view is the unpopularity of the move of the athletics track proposed as part of Masterplan Option 2 and Masterplan Option 3. 61% of those commenting on Masterplan Option 2 and 44% of those commenting on Masterplan Option 3 cited moving the track as something they dislike.
- 4.3.5. The consultation also received 76 responses through correspondence, rather than the feedback form, as well as three petitions opposing the potential move of the athletics track. Analysis of this feedback shows that responses mirror those received on feedback forms.
- 4.3.6. Respondents were asked how old they are. The largest single age group was those aged between 40-59 (41%), followed by those aged 60-79 (27%) and 20-39 (21%). Respondents were also asked about their professional status. Most (48%) were employed full time, followed by those who work part time (16%) and those who are retired (11%).
- 4.3.7. The consultation received a significant number of responses from both sides of the Merton / Wandsworth borough boundary. The volume of responses indicates that Merton Council should continue to involve residents from both sides of the borough boundary in consultation on Wimbledon Park.
- 4.3.8. These findings are set out in more detail in the Appendices

Wimbledon Park Masterplan Option 2

Masterplan Option 2 represents large amount of change while retaining all existing uses. The existing Athletics Compound is demolished and replaced with new facilities on the eastern edge of the Park alongside the railway line.

The Bows Pavilion is retained, upgraded for Club and community use, and extended to provide a Café fronting the Lake. The existing Café building is demolished.

A new (2-storey) Watersports & Outdoor Centre building is provided to the south and the area of the former Compound is re-landscaped and integrated into the park, providing an improved setting for the Lake and providing opportunity for enhanced sightlines from the Great Field and the Revestoke Road and Wimbledon Park Road entrances.

Play provision and White Pavilion upgrade are the same as Option 1.

Features and facilities

| | | | |
|--------------------------------|--|---|--|
| 1 Lake | De-silted, wetland areas introduced at edges | 17 Play Area, incl. Water Play (west of tennis courts) | Retained & enhanced to consolidate all former play provision in one area |
| 2 Lake Embankment / Dam | Revised, public access retained | 18 Tiddler Play Area (north of tennis courts) | Removed; provision relocated to consolidated play area |
| 3 Waterfall Garden | Re-landscaped as a 'Brownian' cascade | 19 Tennis Courts | Retained |
| 4 Brook | Re-landscaped to improve visual amenity, habitat and flood protection (edges improved) | 20 Café Building | Removed |
| 5 'The Great Field' | Retained; works to improve drainage | 21 Parks Maintenance / Staff | Retained |
| 6 Horse Close Wood | Managed for nature | 22 Crazy Golf | Relocated from Café building to area at south end of Park |
| 7 Ashen Grove | Management improved | 23 Beach Volleyball | Retained; incorporated into re-landscaped area around Brook |
| 8 Revestoke Road entrance | Ratings, gates and signage improved | 24 (Bowls) Pavilion | Relocated & extended - 2-storey; Café extension fronting Lake |
| 9 Wimbledon Park Road entrance | Ratings, gates and signage improved | 25 Bowling Green 1 | Retained |
| 10 Home Park Road entrance | Ratings, gates and signage improved; entrance edge of path re-landscaped | 26 Bowling Green 2 (Phone Area) | Retained as phone area |
| 11 Revestoke Road car park | Retained & NGC extended | 27 Existing Watersport & Outdoor Centre | Removed |
| 12 Woodland car park | Retained & NGC extended | 28 New Watersports & Outdoor Centre | 2-storey, on Lake edge to the south of existing location |
| 13 Golf Club boundary | Ratings improved; hedgerow maintained with selective thinning to open views | 29 Athletics Buildings (incl. Athletics Options on Board B) | New site along railway; Options A-C feasible |
| 14 Railway embankment | Hedgerow maintained and managed for nature | 30 Athletics Tracks (incl. Athletics Options on Board B) | New site along railway; Options A-C feasible |
| 15 White Pavilion | Extended to house kiosks + public WC; incorporate water play gun/fountain | 31 Angling | Retained |
| 16 Existing Toilet Block | Removed | 32 High Ropes Course | N/A |
| | | 33 Feasting (Events) Porosk | N/A |



Benefits

- All existing uses retained
- Watersports & Outdoor Centre moved to less visually-intrusive location
- Athletics moved to less visually-intrusive location
- Improves opportunities for alleviation of surface flooding
- Good potential for improved habitat and creation of areas of new habitat
- Good potential for revealing and interpreting historic (Brownian) character and Grade II* status

- Good potential to re-unite fragmented historic landscape
- Good potential to restore lost views

Issues

- Continued subsidy of less profitable facilities
- Large capital investment

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Wimbledon Park 9. Focus on landscape

Distribution of vegetation types

The three Masterplan Options present different distributions and extents of vegetation types across the Park, but they adopt similar approaches.

- Horse Close Wood and Ashen Grove woodland will be retained and enhanced, with management improved for nature conservation.
- Old trees of importance will be recognised for special management and interpretation
- Existing mature trees and shrubs will be retained wherever possible, with any works or removals limited to health and safety and opening up views. New tree planting will be planned for appropriate parts of the Park utilising species appropriate for historic character and amenity.
- The Great Lawn will be restored as Parkland, maintaining a large flat area of mown grass in the centre for events and informal recreation but with areas of taller grass and meadow around retained and newly planted trees along the edges, particularly where they can help soften the appearance of buildings and infrastructure.
- Hedgerows will be retained, enhanced and managed for wildlife, particularly along the railway embankment and the golf course boundary. Efforts will be made to improve views between the Great Lawn and the golf course by opening up some areas between the top of the

hedgerow and the canopies of hedgerow trees.

- The Waterfall garden could be re-landscaped as a natural Brownian cascade (potentially designed to serve as a secondary spillway for the Lake during flood events), and linked with a re-landscaping of the Brook, creating a more natural character with meanders and improved riparian habitat with areas acting as flood storage.

The Lake

Proposals for the Lake are the same in all Masterplan Options, namely:

- Structural repairs to the dam embankment in response to regular Panel Engineer reports under the Reservoirs Act to address safety issues.
- An element of de-silting works combined with the creation new areas of wetland habitat along the edges of the Lake to improve functionality for water-based recreation, water quality and biodiversity.
- A desire to provide public access (where possible) along the edge of the Lake within new wetland areas.

The Lake proposals will be progressed in more detail this autumn, as the most appropriate approach will need to be partially informed by the shape of the final Masterplan.



Minimal intervention - Generally keeping the existing distribution of vegetation types, with scope for improving wetland habitat along Lake edges, riparian habitat along the Brook and the condition and appearance of Horse Close Wood and Ashen Grove.

Maximising landscape character - Like Masterplan Option 1, but with greater opportunities to restore the landscape character in the north of the Park and improve visual links with the Lake and other parts of the historic landscape by relocating the athletics compound east along the railway embankment.

Expanding commercial opportunities - Like Masterplan Option 2, but with more extensive restoration of parkland habitat within the Great Field and re-landscaping of the Brook to create riparian habitat and flood storage areas.



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Fig. 4.1 Two of the consultation boards

4.4. Masterplan Option 1

- 4.4.1. Masterplan Option 1 represents the least amount of change through minimal intervention. All existing uses and most existing facilities are retained. The existing café building is demolished, with existing staff accommodation re-located to a new structure.
- 4.4.2. All children's play is concentrated within the area in front of the White Pavilion, which is upgraded as a refreshment kiosk with public toilets.

- 4.4.3. The Bowls Pavilion is retained, upgraded for club and community use, and extended to provide a café fronting the Lake.
- 4.4.4. The existing Watersports & Outdoor Centre is demolished with a new (2-storey) building provided to the north near to the athletics compound, which is retained in its existing location allowing sharing of facilities.



Fig. 4.2 Masterplan Option 1

4.4.5. Benefits

- * All existing uses retained
- * Moves the Watersports & Outdoor Centre to a less visually-intrusive location
- * Improves opportunities for alleviation of surface flooding
- * Improves existing habitat and provides opportunities for the creation of new habitat

4.4.6. Issues

- * Limits the opportunity to reveal, restore and interpret the historic landscape character and Grade II* status
- * Limits the opportunity to reunite the fragmented historic landscape
- * Limits restoration of lost views and open access to the lake
- * Limits potential to improve views from Park entrances.
- * Continued subsidy of less profitable facilities

Features And Facilities Retained And Removed In Option 1

| | | |
|---|---|--|
| 1 Lake | √ | De-silted; wetland areas introduced at edges |
| 2 Lake embankment / dam | √ | Repaired; public access retained |
| 3 Waterfall garden | √ | Re-landscaped as a 'Brownian' cascade |
| 4 The Brook | √ | Re-landscaped to improve visual amenity, habitat and flood protection; bridges improved |
| 5 "The Great Field" | √ | Retained; works to improve drainage |
| 6 Horse Close Wood | √ | Managed for nature |
| 7 Ashen Grove | √ | Management improved |
| 8 Revelstoke Road entrance | √ | Railings, gates and signage improved |
| 9 Wimbledon Park Road entrance | √ | Railings, gates and signage improved |
| 10 Home Park Road entrance | √ | Railings, gates and signage improved; entrance on golf course boundary re-opened and path reinstated |
| 11 Revelstoke Road car park | √ | Retained & not extended |
| 12 Woodland car park | √ | Retained & not extended |
| 13 Golf Club boundary | √ | Railings improved, hedgerow maintained with selective thinning to open views |
| 14 Railway embankment adjacent parkland | √ | Hedgerow maintained and managed for nature |
| 15 White Pavilion | √ | Extended to house kiosk + public toilets; incorporate water play pump housing |
| 16 Toilet block (existing) | × | Removed |

| | | |
|--|---|--|
| 17 Play area, incl. water play (west of tennis courts) | √ | Retained & enhanced to consolidate all formal play provision in one area, zoned for ages |
| 18 Toddler play area (north of tennis courts) | × | Removed; provision re-located to consolidated play area |
| 19 Tennis courts | √ | Retained |
| 20 Café building | × | Removed |
| 21 Parks maintenance / staff | √ | Relocated from café building to area at south end of Park |
| 22 Crazy golf | √ | Retained; incorporated into re-landscaped area around Brook |
| 23 Beach volleyball | √ | Retained |
| 24 Bowls Pavilion | √ | Refurbished & extended + 2-storey café extension fronting Lake |
| 25 Bowling green 1 | √ | Retained |
| 26 Bowling green 2 (picnic area) | √ | Retained as picnic area |
| 27 Watersports & Outdoor Centre (existing) | × | Removed |
| 28 Watersports & Outdoor Centre (new) | √ | 2-storey; on Lake edge to the north of existing location |
| 29 Athletics buildings | √ | Existing site; Athletics Options A-C feasible |
| 30 Athletics track | √ | Existing site; Athletics Options A-C feasible |
| 31 Angling from golf course land | √ | Retained |
| 32 High ropes course | × | N/A |
| 33 Floating pontoon (for events) | × | N/A |

4.5. Masterplan Option 2

4.5.1. Masterplan Option 2 represents some amount of change to maximise landscape character while retaining all existing uses. The existing athletics compound is demolished and replaced with new facilities on the eastern edge of the Park alongside the railway line.

4.5.2. Play provision and White Pavilion upgrade are the same as Masterplan Option 1.

4.5.3. The Bowls Pavilion is retained, upgraded for club and community use, and extended to provide a café fronting the Lake. The existing café building is demolished.

4.5.4. A new (2-storey) Watersports & Outdoor Centre building is provided to the south and the area of the former athletics compound is re-landscaped and integrated into the park, providing an improved setting for the Lake and providing opportunity for enhanced sight lines from the Great Field and the Revelstoke Road and Wimbledon Park Road entrances.



Fig. 4.3 Masterplan Option 2

4.5.5. Benefits

- * All existing uses retained
- * Moves the Watersports & Outdoor Centre to a less visually-intrusive location
- * Moves Athletics compound to less visually-intrusive location
- * Improves opportunities for alleviation of surface flooding
- * Improves existing habitat and provides opportunities for the creation of new habitat
- * Reveals, restores and interprets the historic

landscape character and Grade II* status

- * Reunites the fragmented historic landscape
- * Restores lost views

4.5.6. Issues

- * Continued subsidy of less profitable facilities
- * Moves some facilities closer to neighbouring residences

Features And Facilities Retained And Removed In Option 2

| | | | | | |
|--------------------------------|---|--|--|---|--|
| 1 Lake | √ | De-silted; wetland areas introduced at edges | 17 Play area, incl. water play (west of tennis courts) | √ | Retained & enhanced to consolidate all formal play provision in one area |
| 2 Lake embankment / dam | √ | Repaired; public access retained | 18 Toddler play area (north of tennis courts) | × | Removed; provision re-located to consolidated play area |
| 3 Waterfall garden | √ | Re-landscaped as a 'Brownian' cascade | 19 Tennis courts | √ | Retained |
| 4 The Brook | √ | Re-landscaped to improve visual amenity, habitat and flood protection; bridges improved | 20 Café building | × | Removed |
| 5 "The Great Field" | √ | Retained; works to improve drainage | 21 Parks maintenance / staff | √ | Relocated from café building to area at south end of Park |
| 6 Horse Close Wood | √ | Managed for nature | 22 Crazy golf | √ | Retained; incorporated into re-landscaped area around Brook |
| 7 Ashen Grove | √ | Management improved | 23 Beach volleyball | √ | Retained |
| 8 Revelstoke Road entrance | √ | Railings, gates and signage improved | 24 Bowls Pavilion | √ | Refurbished & extended + 2-storey café extension fronting Lake |
| 9 Wimbledon Park Road entrance | √ | Railings, gates and signage improved | 25 Bowling green 1 | √ | Retained |
| 10 Home Park Road entrance | √ | Railings, gates and signage improved; entrance on golf course boundary re-opened and path reinstated | 26 Bowling green 2 (picnic area) | √ | Retained as picnic area |
| 11 Revelstoke Road car park | √ | Retained & not extended | 27 Watersports & Outdoor Centre (existing) | × | Removed |
| 12 Woodland car park | √ | Retained & not extended | 28 Watersports & Outdoor Centre (new) | √ | 2-storey; on Lake edge to the south of existing location |
| 13 Golf course boundary | √ | Railings improved, hedgerow maintained with selective thinning to open views | 29 Athletics buildings | √ | New site along railway; Athletics Options A-C feasible |
| 14 Railway embankment | √ | Hedgerow maintained and managed for nature | 30 Athletics track | √ | New site along railway; Athletics Options A-C feasible |
| 15 White Pavilion | √ | Extended to house kiosk + public toilets; incorporate water play pump housing | 31 Angling | √ | Retained |
| 16 Toilet block (existing) | × | Removed | 32 High ropes course | × | N/A |
| | | | 33 Floating pontoon (for events) | × | N/A |

4.6. Masterplan Option 3

4.6.1. Masterplan Option 3 represents a substantial amount of change, focussing on expanding commercial opportunities to ensure a financially sustainable future for the operation and maintenance of the Park.

4.6.2. The existing athletics compound is demolished and replaced with new, upgraded facilities on the eastern edge of the Park alongside the railway line. A new (3-storey) Watersports & Outdoor Centre building with café is provided to the south and the area of the former athletics

compound is re-landscaped and integrated into the park, providing an improved setting for the Lake and providing opportunity for enhanced sight lines from the Great Field and the Revelstoke Road and Wimbledon Park Road entrances.

4.6.3. The top 5-10 tennis courts are converted to mini soccer, and high and low ropes courses are introduced to the Park (likely in Ashen Grove). The existing Bowls Pavilion and bowling greens are removed and the area re-landscaped as part of a more extensive flood alleviation and habitat creation project along the Brook.



Fig. 4.4 Masterplan Option 3

4.6.4. Benefits

- * Introduces new sports and recreation opportunities
- * Provides the greatest potential for income generation and financial sustainability
- * Moves the Watersports & Outdoor Centre to less visually-intrusive location
- * Moves Athletics compound to less visually-intrusive location
- * Provides the greatest potential for alleviation of surface flooding
- * Provides the greatest potential for improvements to existing habitat and the creation of new habitat

- * Reveals, restores and interprets the historic landscape character and Grade II* status
- * Reunites the fragmented historic landscape
- * Restores lost views

4.6.5. Issues

- * Loses some existing sports uses and community facilities
- * Requires compromise on potential for improved nature conservation in Ashen Grove
- * Moves some facilities closer to neighbouring residences

Features And Facilities Retained And Removed In Option 3

| | | |
|--------------------------------|---|--|
| 1 Lake | √ | De-silted. Wetland and new land introduced at edges + public access around perimeter. |
| 2 Lake embankment / dam | √ | Repaired; public access retained |
| 3 Waterfall garden | √ | Re-landscaped as a 'Brownian' cascade |
| 4 The Brook | √ | Re-landscaped to improve visual amenity, habitat and flood protection; bridges improved |
| 5 "The Great Field" | √ | Retained; works to improve drainage |
| 6 Horse Close Wood | √ | Managed for nature |
| 7 Ashen Grove | √ | Management improved |
| 8 Revelstoke Road entrance | √ | Railings, gates and signage improved |
| 9 Wimbledon Park Road entrance | √ | Railings, gates and signage improved |
| 10 Home Park Road entrance | √ | Railings, gates and signage improved; entrance on golf course boundary re-opened and path reinstated |
| 11 Revelstoke Road car park | √ | Retained & not extended |
| 12 Woodland car park | √ | Retained & not extended |
| 13 Golf course boundary | √ | Railings improved, hedgerow maintained with selective thinning to open views |
| 14 Railway embankment | √ | Hedgerow maintained and managed for nature |
| 15 White Pavilion | √ | Extended to house kiosk + public WC; incorporate water play pump housing |
| 16 Toilet block (existing) | × | Removed |

| | | |
|--|---|--|
| 17 Play area, incl. water play (west of tennis courts) | √ | Retained & enhanced to consolidate all formal play provision in one area |
| 18 Toddler play area (north of tennis courts) | × | Removed; provision re-located to consolidated play area |
| 19 Tennis courts | √ | Retained; top 5-10 courts converted into mini-soccer |
| 20 Café building | × | Removed |
| 21 Parks maintenance / staff | √ | Relocated from café building to area at south end of Park |
| 22 Crazy golf | √ | Retained; incorporated into re-landscaped area around Brook |
| 23 Beach volleyball | × | Removed |
| 24 Bowls Pavilion | × | Removed |
| 25 Bowling green 1 | × | Removed |
| 26 Bowling green 2 (picnic area) | × | Removed |
| 27 Watersports & Outdoor Centre (existing) | × | Removed |
| 28 Watersports & Outdoor Centre (new) | √ | 3-storey, including café; on Lake edge to the south of existing |
| 29 Athletics buildings | √ | New site along railway; Athletics Options A-C feasible |
| 30 Athletics track | √ | New site along railway; Athletics Options A-C feasible |
| 31 Angling | √ | Retained |
| 32 High ropes course | √ | Introduced in Ashen Grove |
| 33 Floating pontoon (for events) | √ | Introduced on Lake |

4.7. Options for Athletics with masterplan options 1-3

4.7.1. Option A: Increased provision
A uniform 8-lane athletics track is provided alongside a new athletics building with a large gym and a multi-purpose studio space. The inside of the track is developed for use as a hockey pitch / 3G synthetic sports pitch, including floodlighting. Field events are moved to a new fenced-off area within the Great Field. Capital cost = roughly £8m

4.7.2. Option B: Existing provision
A uniform 8-lane athletics track is provided alongside a new athletics building matching the existing level of provision. The area inside the track is reserved for field events as at present. Capital cost = roughly £5m

4.7.3. Option C: Reduced provision
A uniform 8-lane athletics track only is provided for general public use. The existing buildings are demolished and not replaced. This option maximises opportunity for integrating athletics provision within the landscape. There will be no provision for field events, e.g. throws or jumps. Capital cost = roughly £1m

4.7.4. For all, the existing boundary fencing, hedge and tree planting is extensively thinned and reduced to open up views and improve landscape setting.

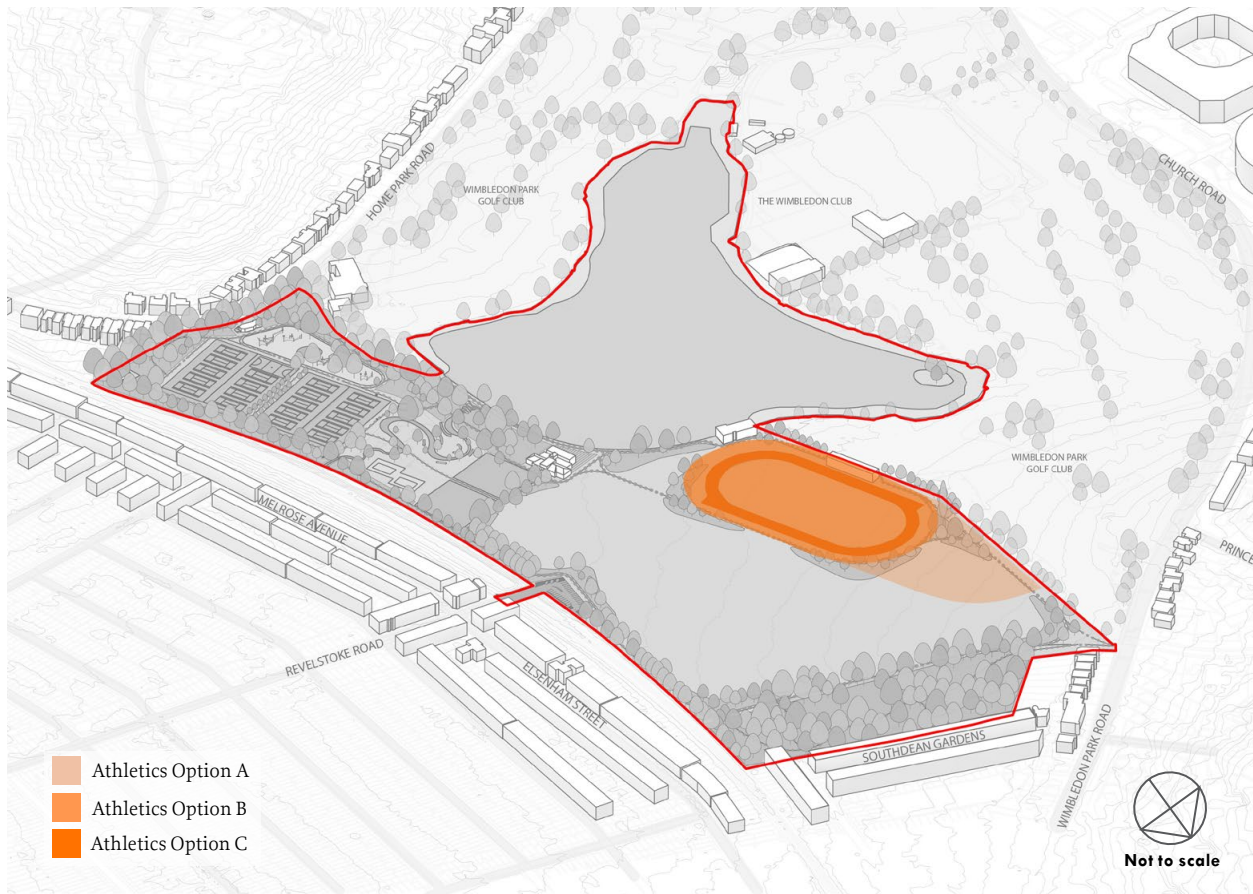


Fig 4.5 Athletics Options A, B & C are all feasible in Masterplan Option 1.

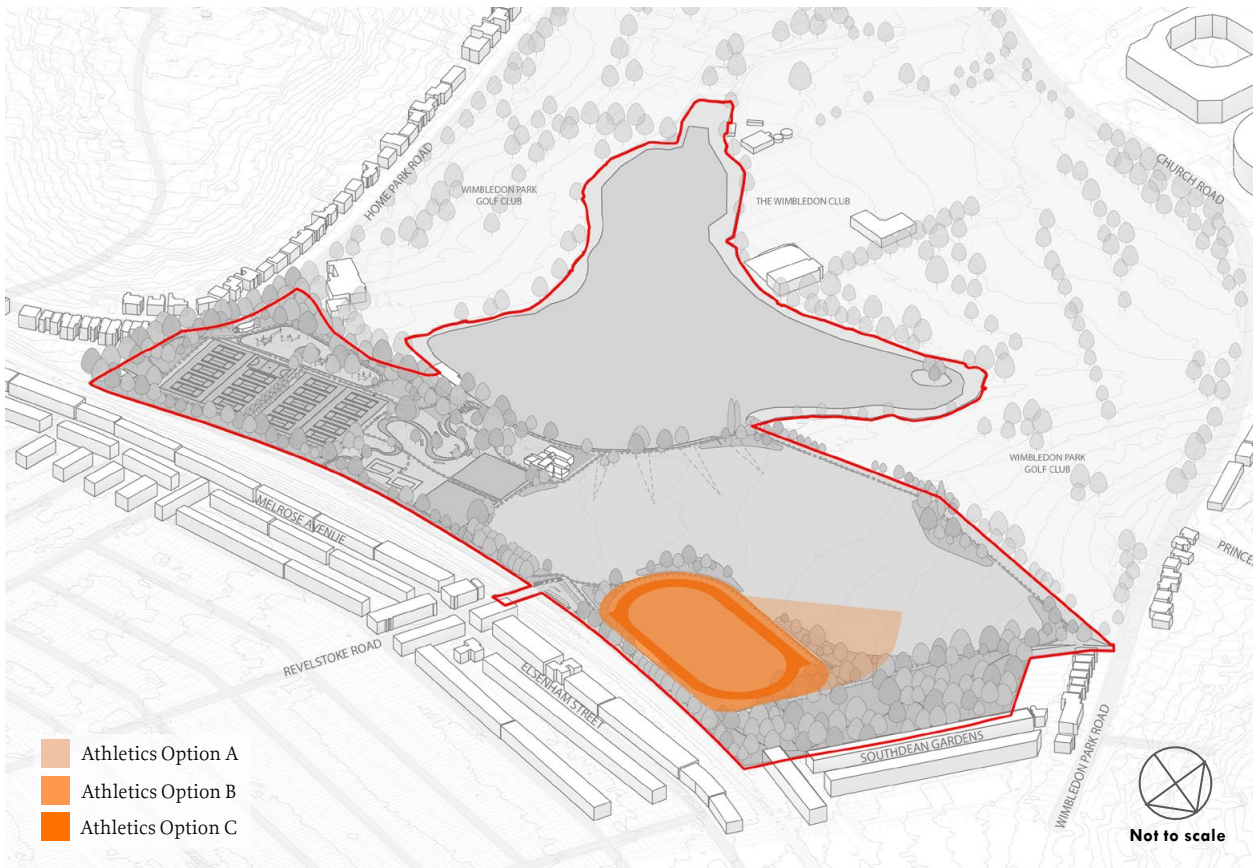


Fig 4.6 Athletics Options A, B & C are all feasible in Masterplan Option 2

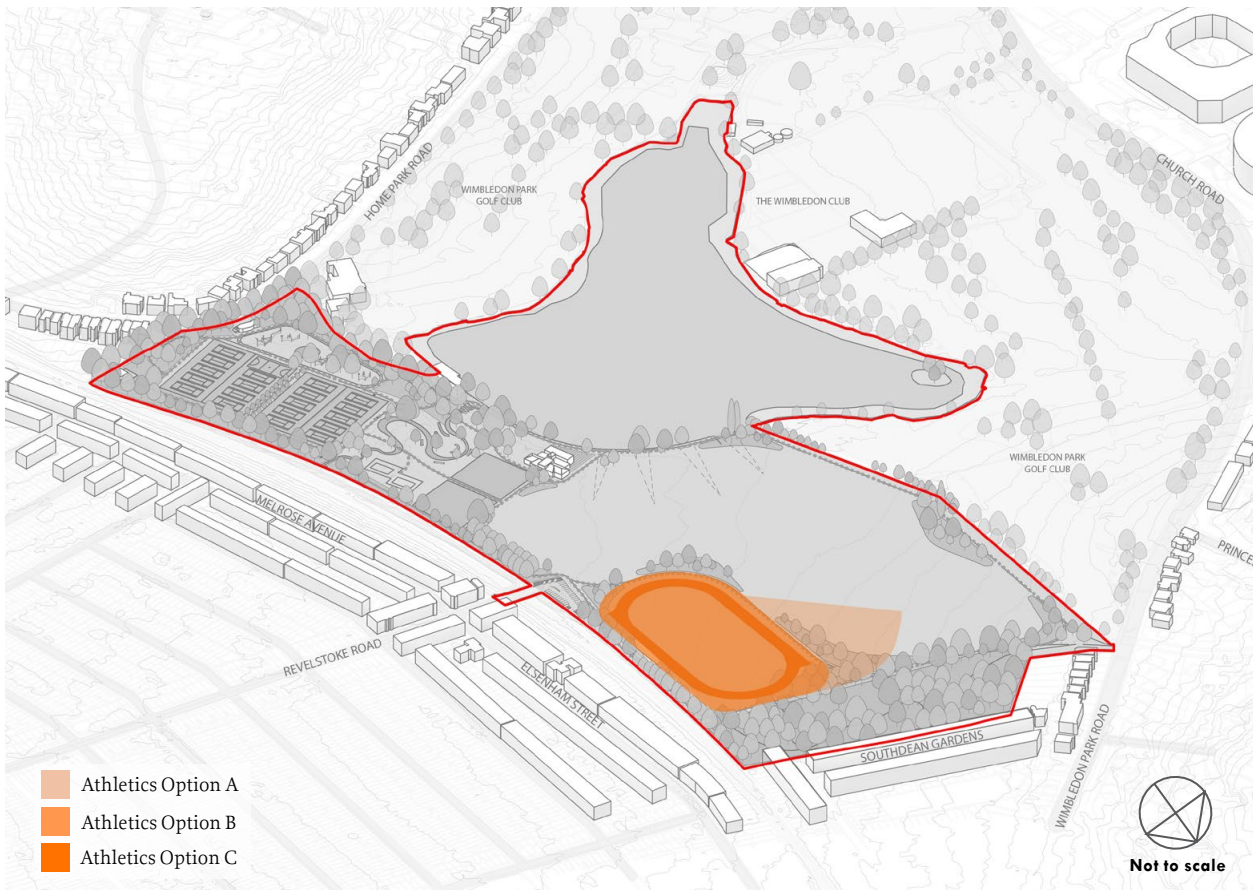


Fig 4.7 Athletics Options A, B & C are all feasible in Masterplan Option 3.

4.8. Distribution of sports and leisure uses

- 4.8.1. The three Masterplan Options present different distributions of sports and leisure uses across the Park.
- 4.8.2. Masterplan Options 1 & 2 retain all existing uses, and replace the existing café with a new extension off the back of the Bowls Pavilion. The main difference involves the retention of the athletics compound in its existing location, or its relocation to the east of the Park alongside the railway embankment. The position of the athletics compound subsequently informs the location of a new Watersports & Outdoor Centre.

- 4.8.3. Masterplan Option 3 takes a more commercially-driven approach, removing some existing uses and facilities from the Park and replacing them with new uses which could provide more commercial income and financial sustainability. Park buildings are consolidated, with a new café on the top floor of a 3-storey Watersports & Outdoor Centre.

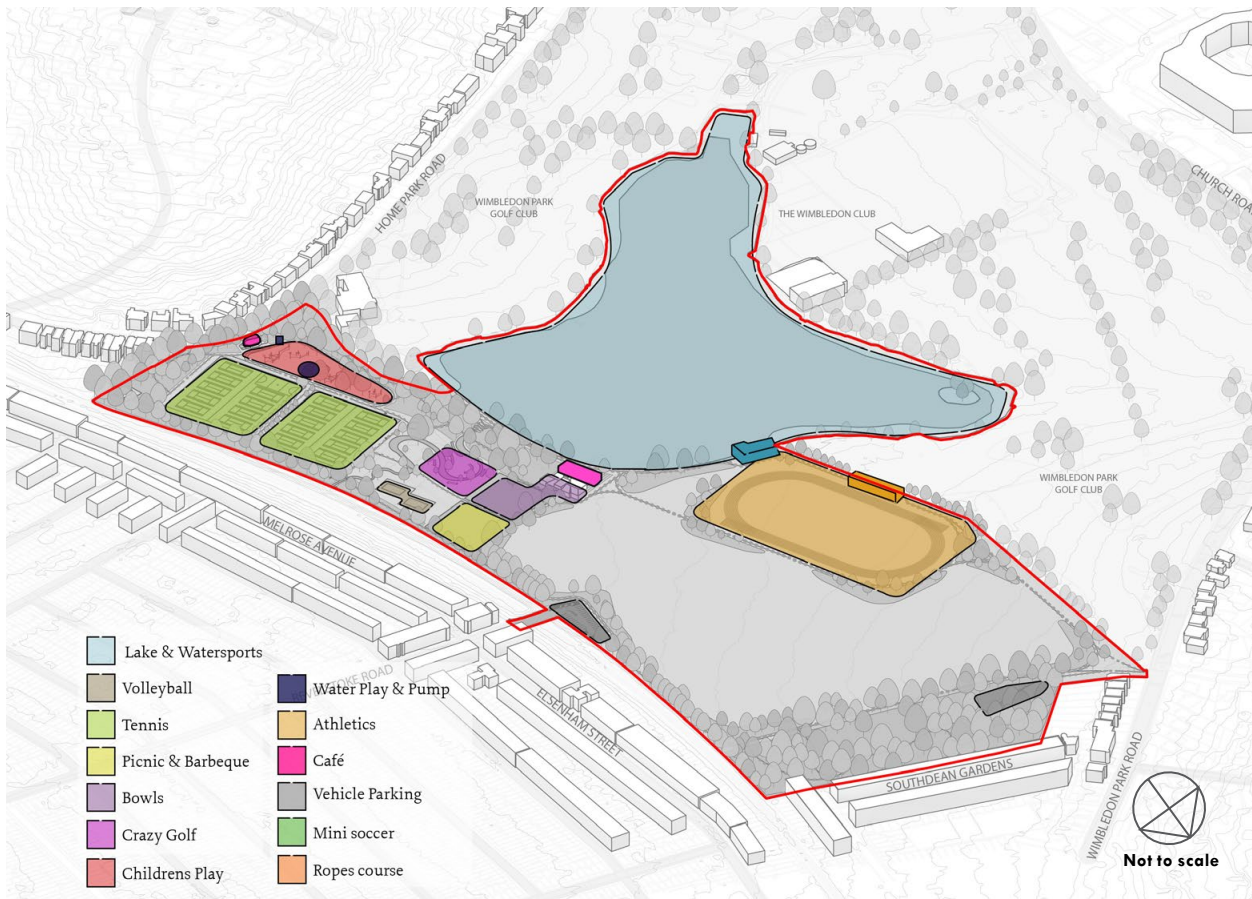


Fig 4.8 Masterplan Option 1: Minimal intervention - All existing uses retained with facilities in the same general locations.

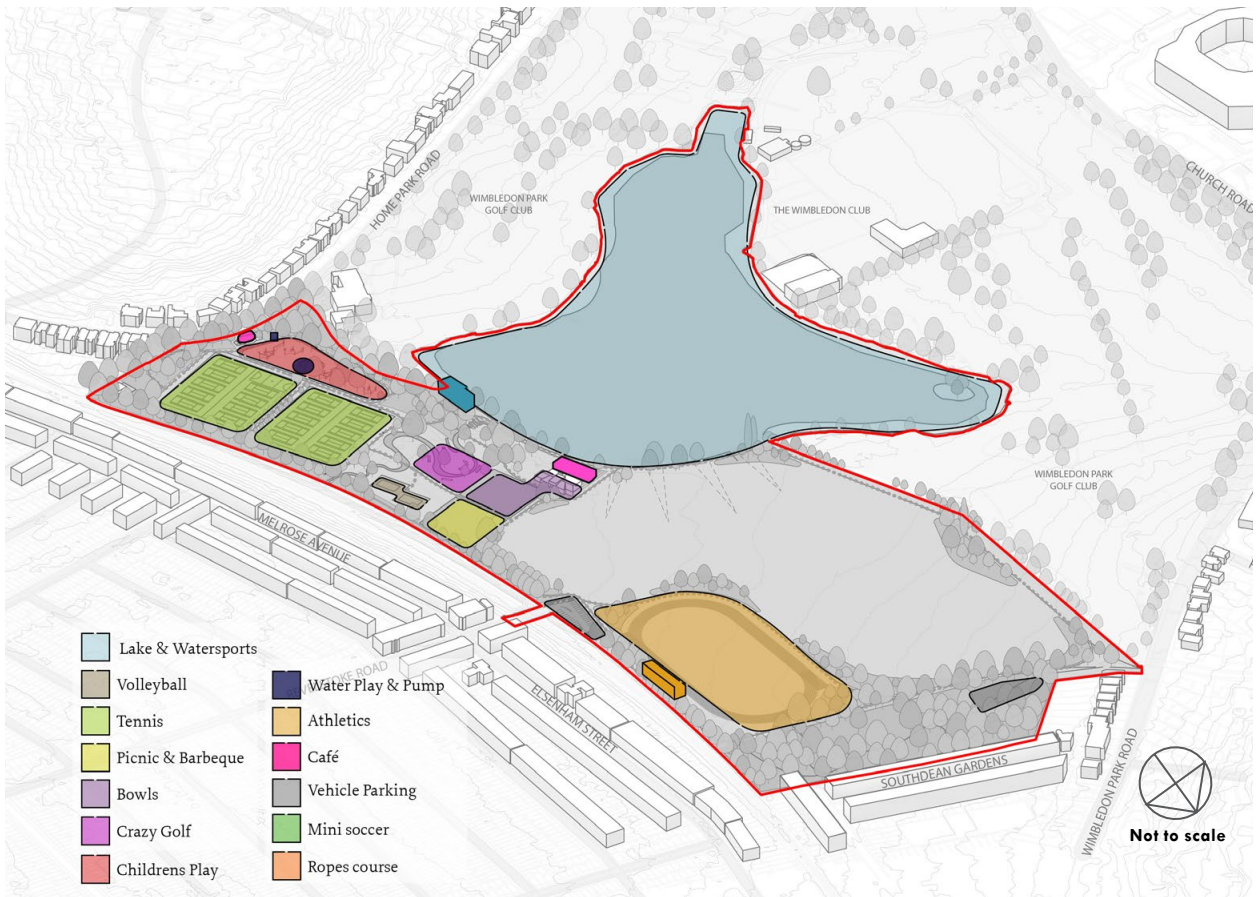


Fig 4.9 Masterplan Option 2: Minimal intervention - Maximising landscape character - All existing uses retained with the athletics compound and Watersports & Outdoor Centre both relocated to other parts of the Park.

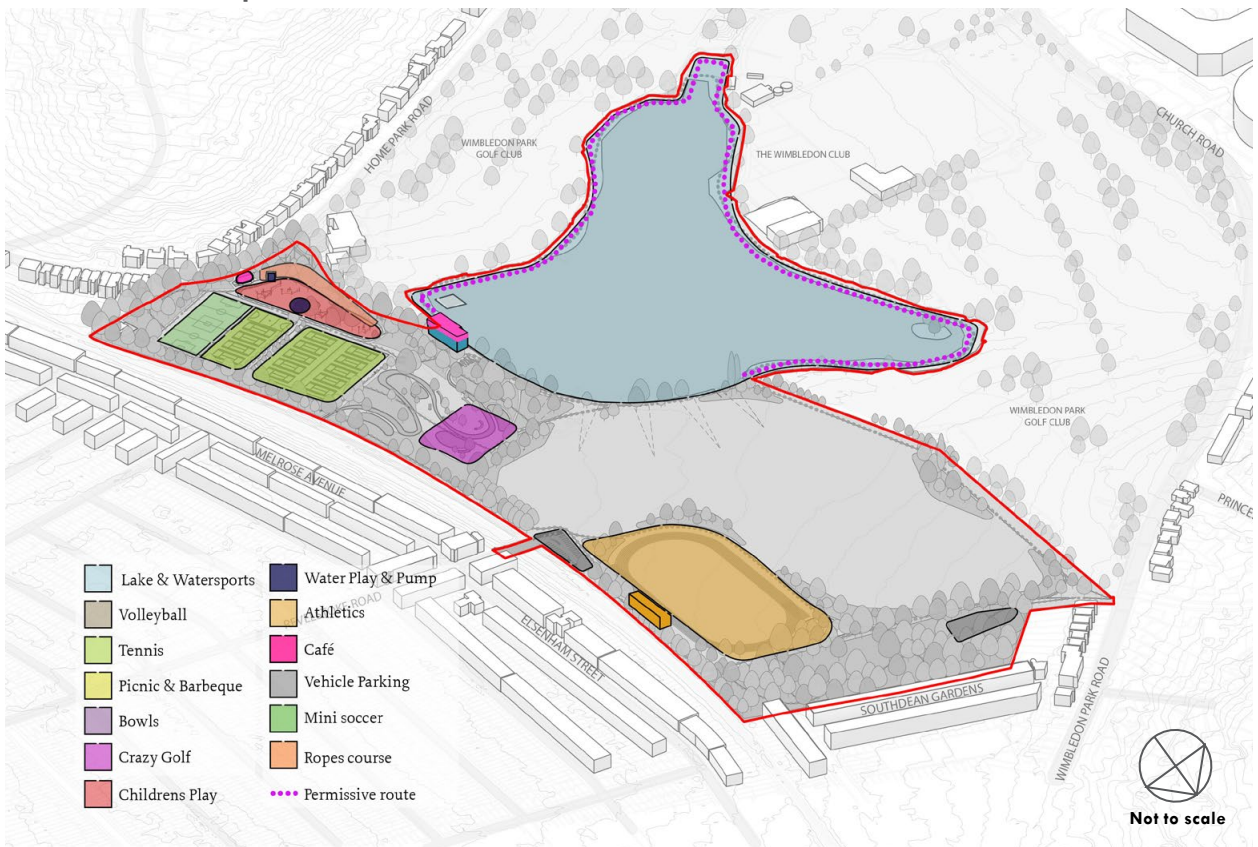


Fig 4.10 Masterplan Option 3: Minimal intervention - Expanding commercial opportunities - Some existing uses retained, but others removed and replaced with new uses.

4.9. Distribution of vegetation types

- 4.9.1. The three Masterplan Options present different distributions and extents of vegetation types across the Park, but they adopt similar approaches.
- 4.9.2. Horse Close Wood and Ashen Grove woodland will be retained and enhanced, with management improved for nature conservation.
- 4.9.3. Old trees of importance will be recognised for special management and interpretation
- 4.9.4. Existing mature trees and shrubs will be retained wherever possible, with any works or removals limited to health and safety and opening up views. New tree planting will be planned for appropriate parts of the Park utilising species appropriate for historic character and amenity.

- 4.9.5. The Great Lawn will be restored as Parkland, maintaining a large flat area of mown grass in the centre for events and informal recreation but with areas of taller grass and meadow around retained and newly planted trees along the edges, particularly where they can help soften the appearance of buildings and infrastructure.
- 4.9.6. Hedgerows will be retained, enhanced and managed for wildlife, particularly along the railway embankment and the golf course boundary. Efforts will be made to improve views between the Great Lawn and the golf course by opening up some areas between the top of the hedgerow and the canopies of hedgerow trees.
- 4.9.7. The Waterfall garden could be re-landscaped as a natural Brownian cascade (potentially designed to serve as a secondary spillway for the Lake during flood events), and linked with a re-landscaping of the Brook, creating a more natural character with meanders and improved riparian habitat with areas acting as flood storage.



Fig 4.11 Minimal intervention - Generally keeping the existing distribution of vegetation types, with scope for improving wetland habitat along Lake edges, riparian habitat along the Brook and the condition and appearance of Horse Close Wood and Ashen Grove.

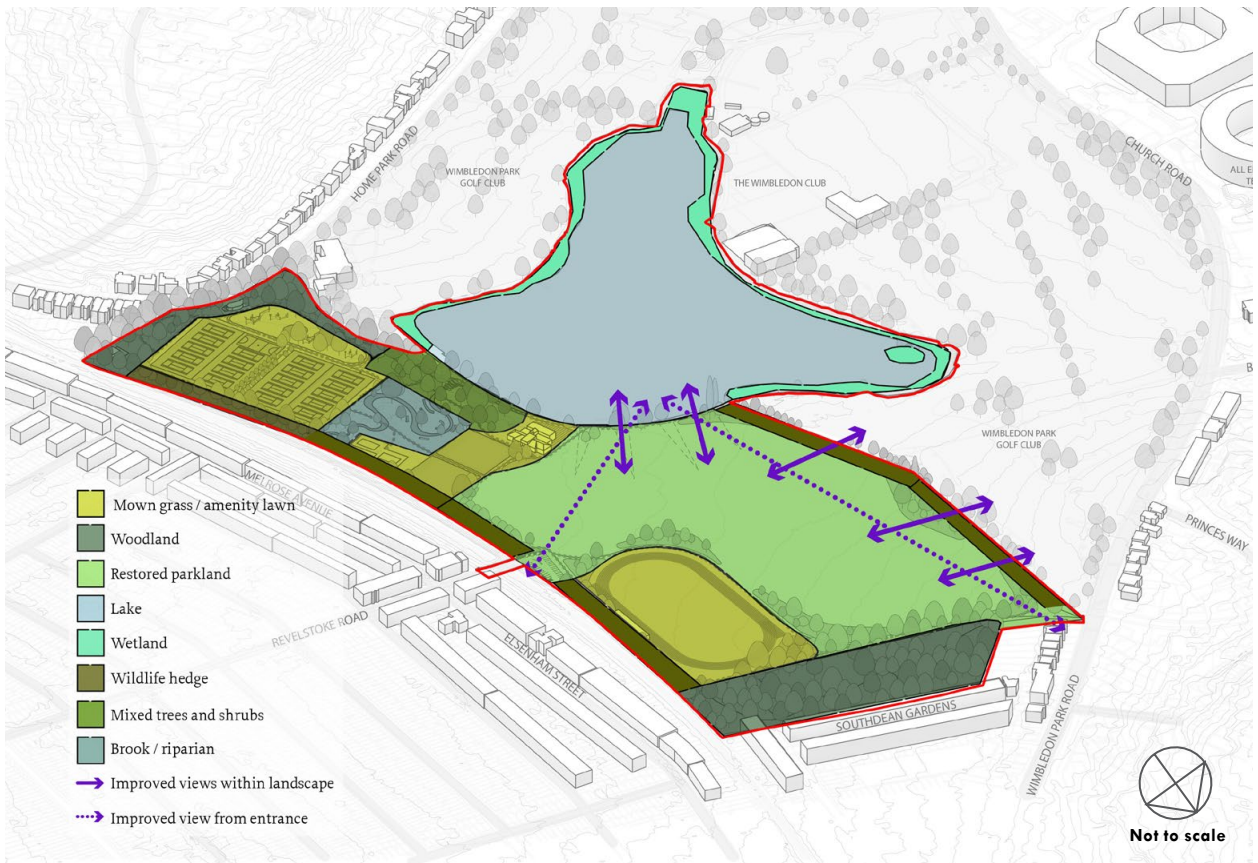


Fig 4.12 Maximising landscape character - Like Masterplan Option 1, but with greater opportunities to restore the landscape character in the north of the Park and improve visual links with the Lake and other parts of the historic landscape by relocating the athletics compound east along the railway embankment.

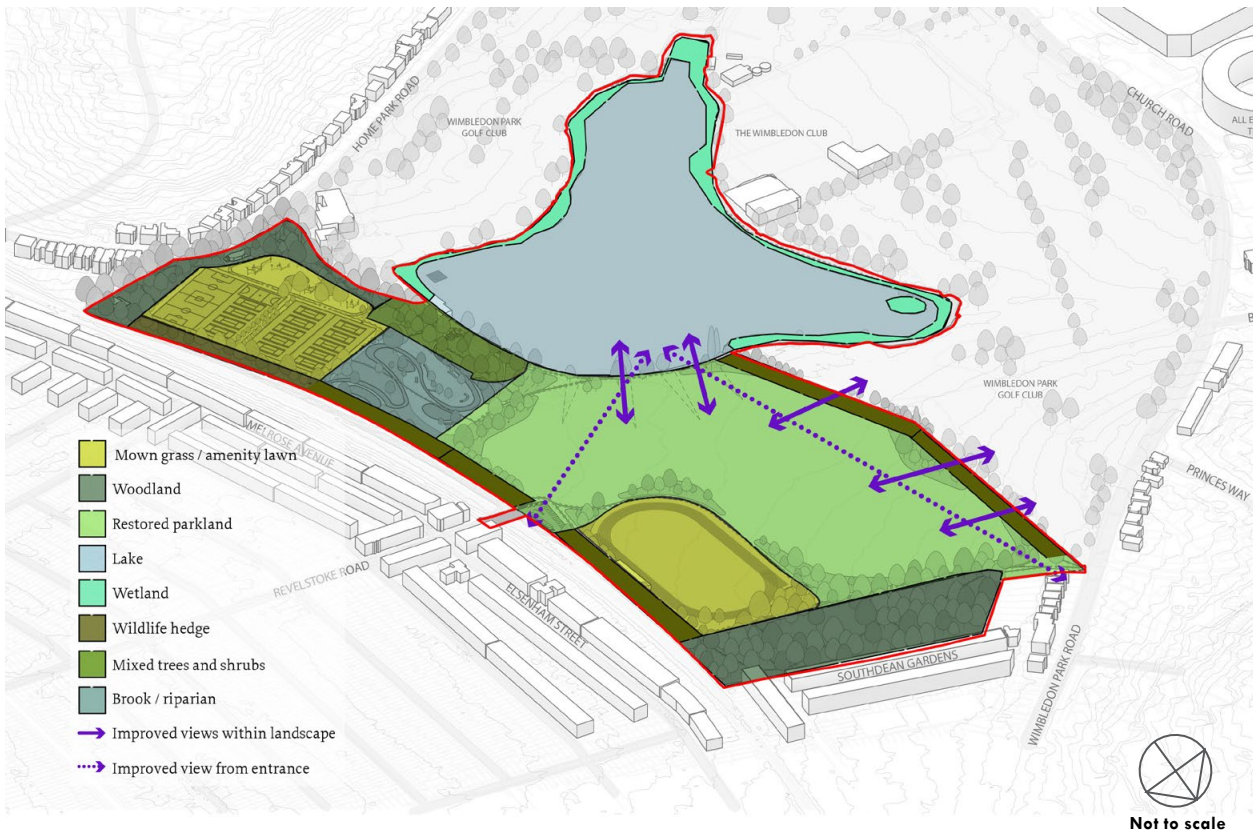


Fig 4.13 Expanding commercial opportunities - Like Masterplan Option 2, but with more extensive restoration of parkland habitat within the Great Field and re-landscaping of the Brook to create riparian habitat and flood storage areas.

4.10. The Lake

- 4.10.1. Proposals for the Lake are the same in all Masterplan Options, namely:
- 4.10.2. Structural repairs to the dam embankment in response to regular Panel Engineer reports under the Reservoirs Act to address safety issues. The height of the dam may need to be raised, but detailed design is yet to be confirmed.
- 4.10.3. An element of de-silting works combined with the creation new areas of wetland habitat and potential access paths along the edges of the Lake to improve functionality for water-based recreation, water quality and biodiversity.
- 4.10.4. Further consideration must be given to water quality, delivered through measures to manage silt and interventions to the two main inlets in the Thames Water (TW) network. Consultation with TW, Environment Agency and AELTC will be necessary to achieve this.
- 4.10.5. The Lake proposals will be progressed in more detail 2017/18, subject to the Section 10 flood report. The most appropriate approach may need to partially inform the detail of the final Masterplan, and some details may need amending to accommodate lake works, such as a secondary spillway.





5.0 Final Masterplan

5.1. Introduction

5.1.1. This section sets out the Final Masterplan for Wimbledon Park and Lake.

5.1.2. It sets out the components which comprise the masterplan, their description and rationale of their layout and design principles. These have been determined as a result of the consultation exercise.

5.1.3. Taking on board the feedback from the public consultation, it is clear that the local community values the broad structure of the Park as it is.

5.1.4. Therefore, the Final Masterplan is developed from Masterplan Option 1, representing an approach of limited change through minimal intervention, with all existing uses and most existing facilities retained. The Final Masterplan also includes options for some new elements from the other Masterplan Options which garnered support.

5.2. Benefits and Issues of the Masterplan

5.2.1. Benefits

- * Retains all existing uses and introduces some new sports and recreation opportunities
- * Moves the Watersports & Outdoor Centre to less visually-intrusive location
- * Improves the setting and appearance of the Athletics compound, if tall, screening trees and tall fencing is removed.
- * Improves the condition and appearance

of the Lake, while also providing opportunities for increased public access around the Lake edges

- * Provides slightly increased potential for income generation and financial sustainability
- * Provides opportunities for alleviation of surface flooding
- * Provides opportunities for improvements to existing habitat and the creation of new habitat
- * Provides some opportunities to reveal, restore and interpret the historic landscape character and Grade II* status
- * Provides some limited opportunities to reunite the fragmented historic landscape
- * Provides some limited opportunities to restore lost views while retaining the Athletics compound in its current location.

5.2.2. Issues & Limitations

- * Limits the opportunity to reveal, restore and interpret the historic landscape character and Grade II* status by keeping structures which block views and limit access to the lake
- * Limits the opportunity to reunite the fragmented historic landscape and re-connect the lake with the park, by keeping the Athletics compound in its current location.
- * The opportunity afforded by the tall railway embankment to site large bulky structures which have a negative impact on the significance of the park is lost.
- * Limits the opportunity to restore historic parkland
- * Limits restoration of lost views, especially toward the lake.



Fig. 5.1 - Final Masterplan with Key

- | | | | |
|---------------------------------|---------------------------------|--|---|
| 1. Lake | 10. Home Park Road entrance | 20. Café Building | 27. Existing Watersport & Outdoor Centre - demolished |
| 2. Lake Embankment / Dam | 11. Revelstoke Road car park | 21. Parks Maintenance / Staff | 28. New Watersports and Outdoor Centre |
| 3. Waterfall Garden | 12. Horse Close Wood car park | 22. Crazy Golf | 29. Athletics Buildings |
| 4. Brook | 13. Golf Club boundary | 23. Beach Volleyball | 30. Athletics Track |
| 5. "The Great Field" | 14. Railway embankment | 24. (Bowls) Pavilion | |
| 6. Horse Close Wood | 15. White Pavilion | 25. Bowling Green | |
| 7. Ashen Grove | 16. Toilet Block | 26. Picnic Area - (Former Bowling Green) | 31. Lakeside path on newly formed lake margin |
| 8. Revelstoke Road entrance | 17. Play Area, incl. Water Play | | |
| 9. Wimbledon Park Road entrance | 18. Toddler Play Area | | |
| | 19. Tennis Courts | | |

Features and facilities

| | | | | | |
|--|---|--|---|---|---|
| 1 Lake | √ | De-silted; wetland areas introduced at edges + public access around perimeter, where possible | 18 Toddler play area (north of tennis courts) | √ | Retained & enhanced |
| 2 Lake embankment / dam | √ | Repaired as per panel engineer's recommendations, including potential secondary spillway; public access retained | 19 Tennis courts | √ | Retained |
| 3 Waterfall garden | √ | Retained; re-landscaped as a natural cascade in association with works carried out as per panel engineer's recommendations | 20 Café building | √ | Retained and refurbished, including public toilets; basement area retained as storage for park maintenance |
| 4 The Brook | √ | Re-landscaped to improve visual amenity, habitat and flood protection; bridges improved | 21 Parks maintenance / staff | √ | Relocated from existing café building to Bowls Pavilion |
| 5 "The Great Field" | √ | Retained; works to improve drainage | 22 Crazy golf | √ | Retained and re-developed, on existing location and extended to the south into existing Beach Volleyball area |
| 6 Horse Close Wood | √ | Continued management for nature conservation | 23 Beach volleyball | √ | Re-located to Bowling green 2 and area re-landscaped |
| 7 Ashen Grove | √ | Management improved for nature conservation | 24 Bowls Pavilion | √ | Retained and refurbished for club and community use, including public toilets |
| 8 Revelstoke Road entrance | √ | Railings, gates and signage improved | 25 Bowling green 1 | √ | Retained |
| 9 Wimbledon Park Road entrance | √ | Railings, gates and signage improved | 26 Bowling green 2 (picnic area) | √ | Retained; Beach Volleyball re-located here, with remainder retained as picnic area |
| 10 Home Park Road entrance | √ | Railings, gates and signage improved; entrance on golf course boundary re-opened and path reinstated | 27 Watersports & Outdoor Centre (existing) | × | Removed; area re-landscaped |
| 11 Revelstoke Road car park | √ | Retained & not extended | 28 Watersports & Outdoor Centre (new) | √ | 2-storey; on Lake edge to north of existing location; boat storage re-located from behind Bowls Pavilion |
| 12 Woodland car park | √ | Retained & not extended | 29 Athletics buildings | √ | Retained in existing location and re-developed |
| 13 Golf course boundary | √ | Railings improved, hedgerow maintained with selective thinning to open views and managed to nature conservation; path behind Athletics compound reinstated | 30 Athletics track | √ | Retained in existing location, but only re-developed from 6-8 lanes if trees removed and land raised; tall Leylandiis and Poplars removed to better integrate within landscape, and 'see through' (mesh) boundary fence installed and maintained. |
| 14 Railway embankment | √ | Hedgerow maintained and managed for nature conservation | 31 New Lakeside path | √ | Possible to incorporate a public access path around the lake edge in the new land created from the lake works. |
| 15 White Pavilion | √ | Extended to house kiosk + public WC; incorporate water play pump housing | | | |
| 16 Toilet block (existing) | × | Removed; area re-landscaped; public toilet provision at 15, 20 and 21 | | | |
| 17 Play area, incl. water play (west of tennis courts) | √ | Retained & enhanced; retain area of grass within dog-free area north of White Pavilion | | | |

- * Limits potential to improve views from Park entrances.
- * Continued subsidy of non-profitable and less profitable facilities such as athletics with the current arrangement being kept.

5.3. Uses and Facilities:

- 5.3.1. The Final Masterplan retains all and improves some existing uses and facilities.
- 5.3.2. The improvements to the Lake, vegetation and habitats, footpaths and entrances, and views outlined in the following sections will ensure that the Park continues to serve its primary use as a space for informal recreation, as well as access to nature.
- 5.3.3. Both children's play areas will be retained. The toddler play area south of the tennis courts will be upgraded with new equipment and landscaping, with the area around it developed as woodland with new tree and shrub planting. The main play area to the west of the tennis courts will also be upgraded and extended north over the site of the existing public toilets (to be removed and replaced elsewhere on site), with new play equipment (including retention of water play) and associated landscaping. The lawn area immediately to the north of the White Pavilion will be retained for informal recreation. Both play areas will remain as dog-free areas.
- 5.3.4. All 20 tennis courts will be retained – 10 hard courts, and 10 artificial grass surface and floodlit.
- 5.3.5. The existing Bowling green east of the Bowls Pavilion will be retained.
- 5.3.6. The 2 beach volleyball courts will be retained, but relocated to within the discussed Bowling Green, the remainder of which will be retained for picnic use.
- 5.3.7. The crazy golf facility will be retained, re-developed on the existing location and extended to the south into existing Beach Volleyball area. The re-developed crazy golf course could take the Capability Brown park as its inspiration – either recreating the complete extent of the 18th century designed landscape in miniature, or taking a 'Brownian' approach to crazy golf design.
- 5.3.8. New Lakeside path to be incorporated into reclaimed land and wetland at the Lake edges. Angling can be retained once the lake works are complete.
- 5.3.9. Uses and facilities largely follow Option 1 as described in Section 4.
- 5.3.10. A full description of the Building Options considered is contained in the following pages. These will form the basis for any architectural brief for developing the building refurbishment projects or designs.

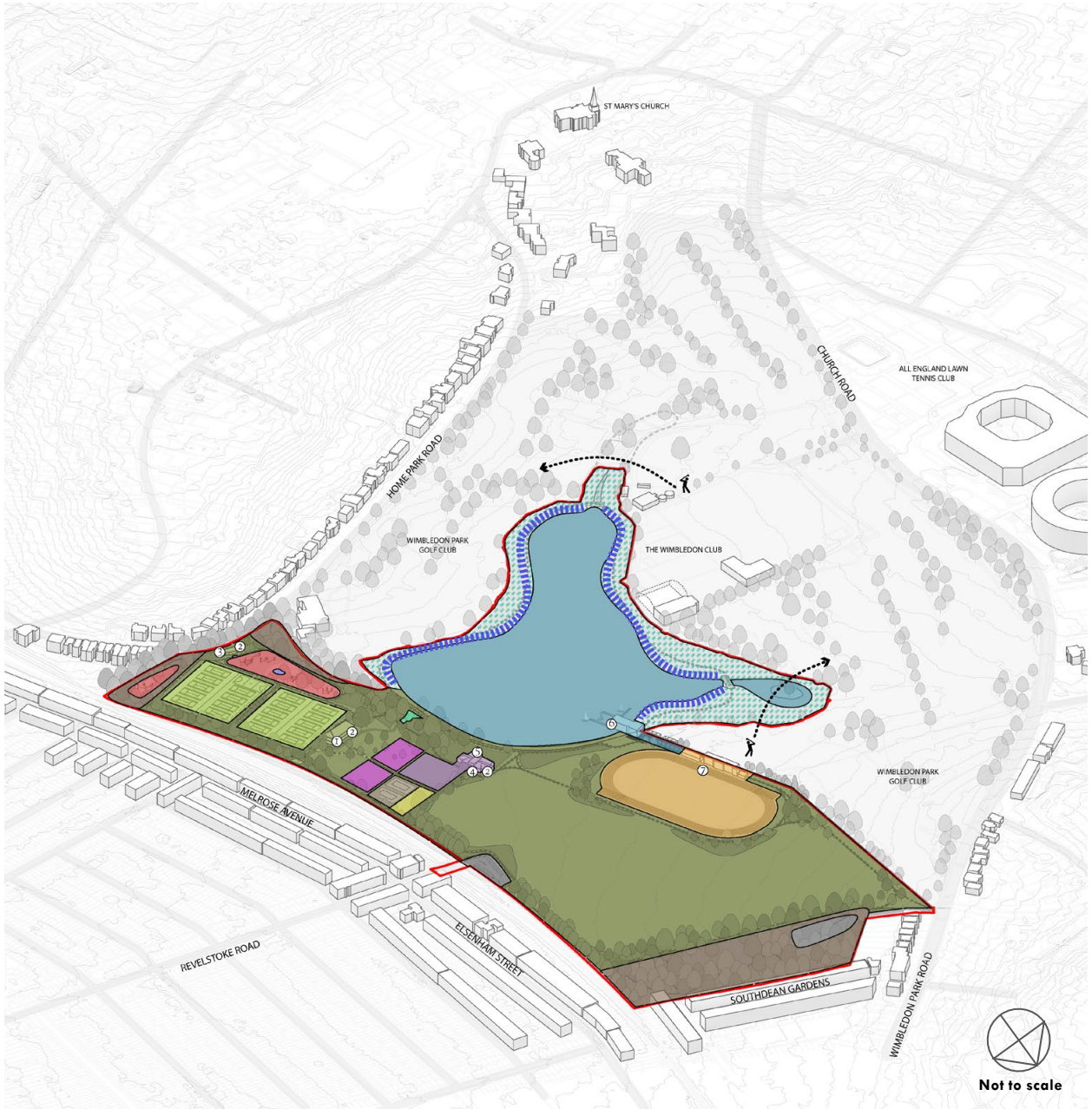
















Fig. 5.2 Final Masterplan Land Use

Legend

| | | | |
|--|--|---|---|
|  Amenity landscape |  Tennis |  Children's Play |  Facilities |
|  Woodland |  Picnic areas |  Water play & pump | 2. Cafe |
|  Lake & Watersports |  Bowls |  Athletics | 2. Toilets |
|  Waterfall garden |  Crazy golf |  Vehicle parking | 3. White Pavilion |
|  Volleyball |  Angling |  Wetland | 4. Parks Kiosk |
| | | | 5. Bowls Pavilion |
| | | | 6. Watersports & Outdoor Centre |
| | | | 7. Athletics Stadium |
| | | |  Golf line of play over lake |

5.4. Potential New Uses and Facilities

- 5.4.1. There are also future options to introduce new facilities to diversify visitor offer and provide additional opportunities to improve the financial sustainability of the Park. These could take place in the future, if demand for them is proven. They would all be subject to further design development, consultation and planning approvals.
- 5.4.2. 5-a-side football pitches could replace the southernmost 5 tennis courts (when refurbishment is required) if demand was proven to outstrip tennis requirements.
- 5.4.3. High and low ropes courses linked to the Watersports & Outdoor Centre could replace the southernmost 5 tennis courts (when refurbishment is required). An alternative location could be the area to the east of tennis courts alongside District Line embankment.
- 5.4.4. The area to the rear of the Bowls pavilion could provide space for a future extension housing a new café and terrace overlooking the Lake (and in the approximate location of one of Capability Brown's views). This could be as a replacement to the existing café facility, or as an alternative catering offer to the existing café and White Pavilion kiosk.
- 5.4.5. Any of the above options would be subject to consultation and design development.

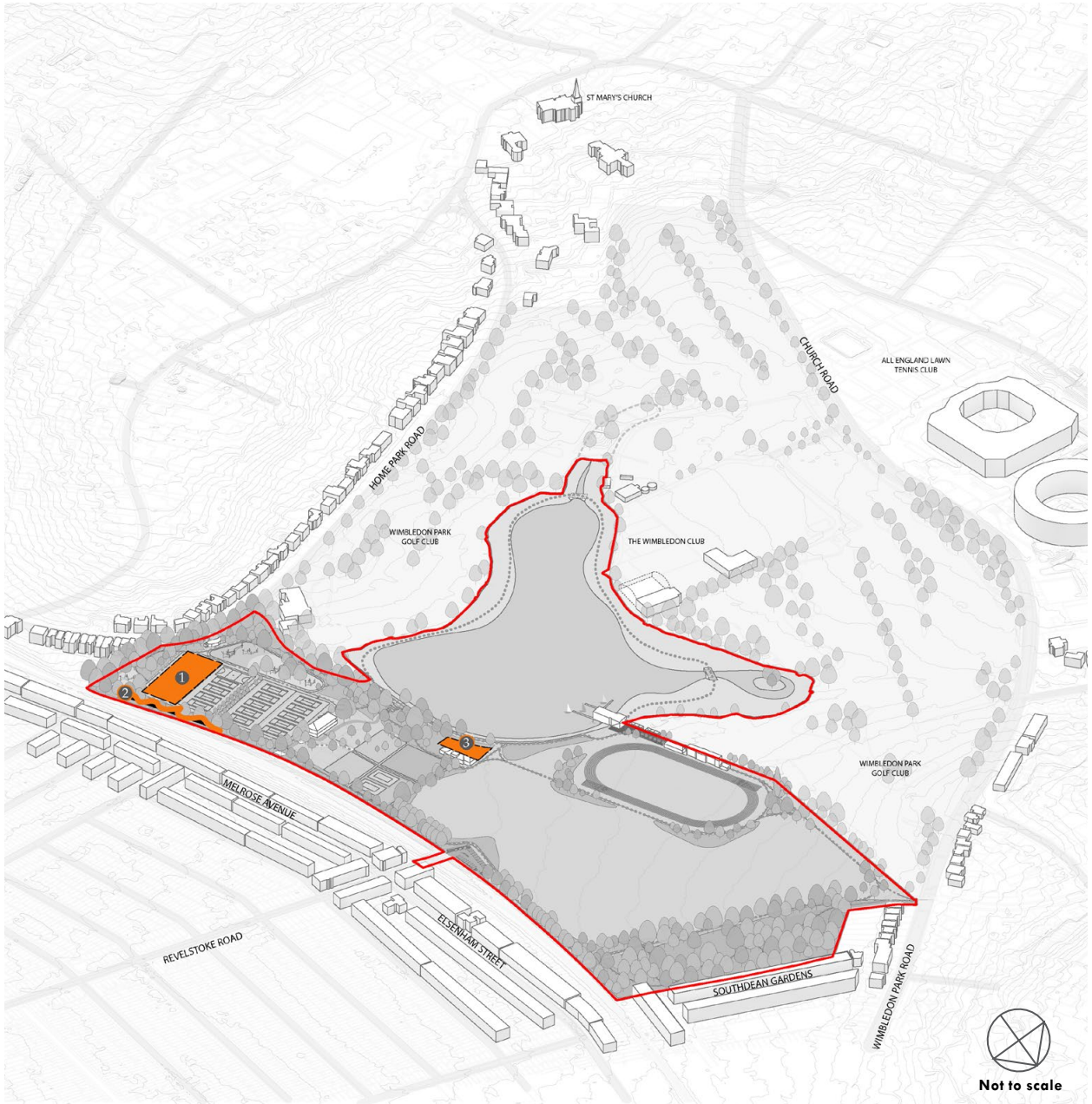


Fig. 5.3 Potential Future Developments

Legend

- 1 5-a-side football pitches
- 2 Ropes course
- 3 Café restaurant extension to rear of bowls pavilion, overlooking lake

5.5. Possible future land purchase/ acquisition

- 5.5.1. Two land purchases would greatly assist the functioning and aesthetics of the park and lake, and as small wedges of land, are currently not especially usable by AELTC who owns them.
- 5.5.2. Section of Ashen Grove Wood adjacent to the lake.
This acquisition would enable better public access to the lake and any future lakeside path.
- 5.5.3. Access around the existing Athletics compound.
This access would be much improved if this land was in public ownership. Similarly, access and the setting of the proposed Watersports and Outdoor centre would be better placed with more space around it, while not compromising the potential access to the proposed lakeside access path

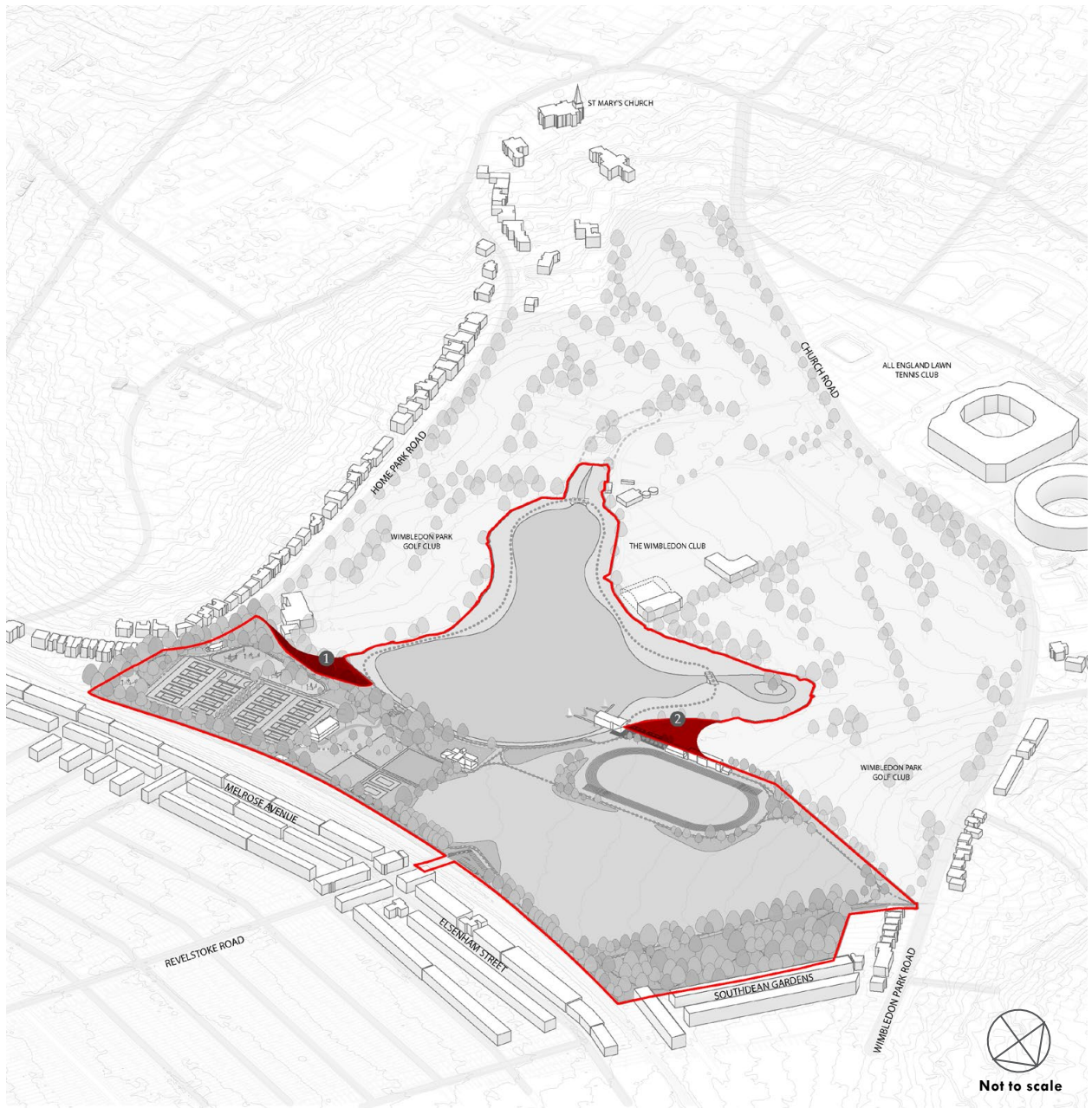


Fig.5.4 Possible future land purchase/ acquisition

Legend

- ① Purchase from All England Lawn Tennis Club
- ② Purchase from All England Lawn Tennis Club

5.6. Summary Of Building Proposals

- 5.6.1. The following is a description of the Building Proposals as depicted by the sketches. Block floor plans can be found in Appendix H
- 5.6.2. **The White Pavilion**
The White Pavilion is refurbished and refitted as a refreshment kiosk serving the Play Area. It will be extended to the west to provide new public WC facilities, permitting the present freestanding WC block to the north of the Play Area to be demolished. Its extended area will be about 115m², of which 75m² is existing and 40m² newbuild. WC provision will be of robust type with high quality finishes and appropriate space standards, with accessible and ambulant facilities and a dedicated baby change space.
- 5.6.3. There will be a small self-contained police base, and ideally the extension will house the water play pump equipment which at present is freestanding and unsightly. The extension will be partly earth-sheltered by the bank behind it, and it may be possible to direct a ramped route across its roof to the terrace above.
- 5.6.4. **Café**
The café building will be transformed from its heavy appearance, with walkways guarded by heavy brown balustrades, into a bright, reflective pavilion surrounded by translucent balustrading. The intention is that the upper floor will appear to float above the retained stonework base. With the Parks staff facilities relocated to the Bowls Pavilion the whole of the upper floor can be reconfigured, absorbing the current staff mess areas and extended as wide glazed bays at both ends across the walkway.
- 5.6.5. This will enable new WC installations including a baby change room. Reconfiguring the kitchen and servery will create a more efficient layout, and together with the increased floor area the number of covers will be increased significantly. Those sections of balustrading left after creation of the glazed bays will be replaced with stainless steel mesh set into fine-section steel frames. Elevations will be redesigned to increase glazed areas by creation of sliding doors, and all windows and doors will be replaced with high-performance metal-framed units.
- 5.6.6. The dark brown boarded wall cladding will be replaced with a combination of full-height glazed doors and coloured lightweight panels, and the building reroofed with standing seam metal roofing on solid sarking boards. Overall internal area will be about 180m², an increase of about 65m² over the current café facilities.
- 5.6.7. The lower ground floor, which houses Parks staff storage facilities, will be retained; at present occasional flooding occurs, but this will be ameliorated by the proposed water management regime.
- 5.6.8. **Bowls Pavilion**
The rear of the Bowls Pavilion will be rebuilt, retaining some perimeter external walls, to provide coherently arranged changing and sanitary accommodation. The main front rooms [classroom, clubroom and hall] and kitchen will remain, as will the first floor flat and the tower. The current area of around 415m² will be increased to about 540m², achieved by infilling the two small lightwells and extending to the rear.
- 5.6.9. Externally the Pavilion will be restored as far as possible to its 1930s appearance. The existing obtrusive white-framed windows will be replaced with fine-section metal-framed windows more closely resembling the original Crittall-type. It may be possible to reintroduce curved glass to the entrance area.
- 5.6.10. The new but out-of-keeping front door to the first-floor flat will be replaced with a more appropriately detailed doorset. The visually dominant ramps to the front and side entrances will be removed and accessibility achieved by a reworking of surrounding levels, with residual balustrading detailed more sensitively than at present. Brickwork will be repaired and cleaned as necessary; roof tiles could be replaced with plain clay tiles. The tower roof will be stripped of unsightly services penetrations.

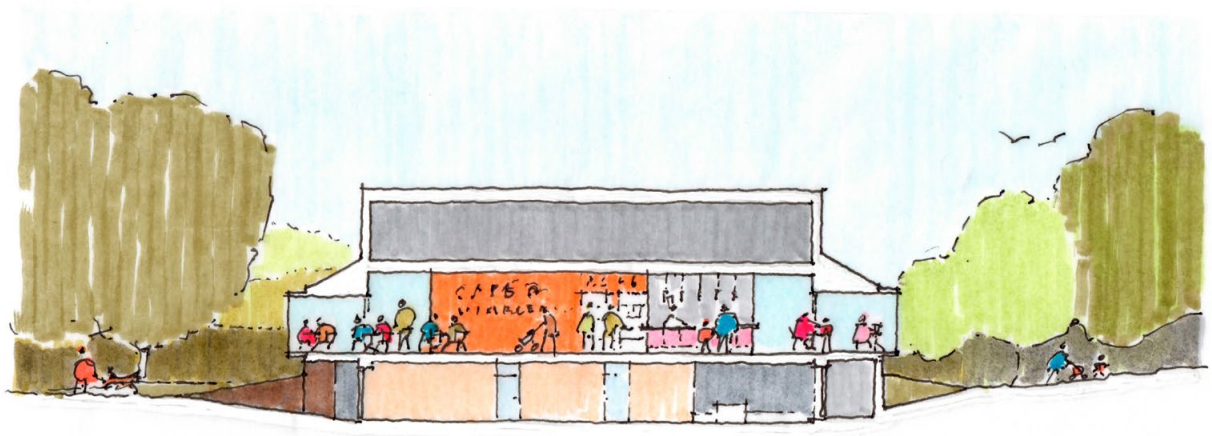


Fig. 5.5 Cafe: Sketch showing section showing extended

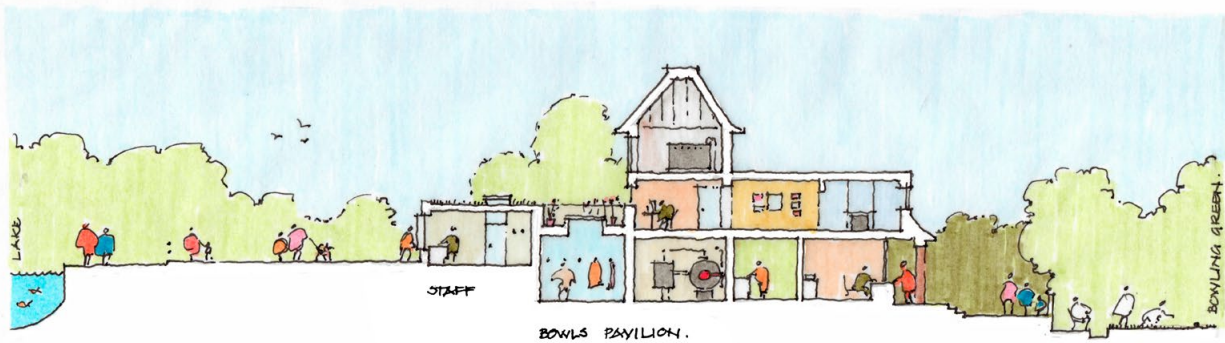


Fig. 5.6 Bowls Pavilion: Sketch section, showing new extension

- 5.6.11. Internally, walls will be drylined to achieve current thermal standards and insulation to ceilings and roofspaces upgraded. The partitions linking the two pairs of rooms will be replaced with modern acoustically insulated operable walls. New WC provision, efficiently planned and robustly detailed, will be provided, along with a pair of changing rooms serving the space presently used for kick-boxing, which will become a multi-purpose hall for letting.
- 5.6.12. The changing facilities will accommodate 30-40 people in two separate rooms, so they can be used as a suite by a school class or other mixed-gender groups. The two-room changing suite will include showers and WCs to Sport England standards, and will provide either bag stores or lockers.
- 5.6.13. The existing classroom/clubroom pair will be served by a smaller changing facility, still in two separate spaces, with fewer showers, intended primarily for Bowls Club use.
- 5.6.14. The rear extension will house relocated Parks services / staff mess accommodation and additional Public WCs with baby change.

- 5.6.15. **Watersports Centre**
The existing Watersports Centre will be demolished and relocated further North as a two-storey lakeside building adjacent to the current Athletics site. Accommodation will include four changing suites like that to the Bowls Pavilion described above: we have assumed that a changing suite comprises two 15-20 person changing rooms, each with shower and WC provision, all to Sport England standards.
- 5.6.16. A pair of rooms can accommodate a school class of 30-35 split into single-sex groups. So the total changing provision would be around 150 persons total. Since in its busiest periods 250 persons use the existing Watersports Centre per day they would need to change in two shifts unless, as at present, supervised groups used changing facilities within the Athletics Building. An accessible changing suite of WC, shower and changing room, will also be provided.
- 5.6.17. A staff suite comprising offices, changing and mess facilities, will directly overlook the lake, as will a teaching room. Extensive storage accommodation, both internal and externally accessed, is intended to obviate any need to leave equipment within staff or lecture areas. There will be a small cafe/servery area where users can eat their packed lunches as well as snacks purchased on site. Overall internal area is around 635m².
- 5.6.18. Note that if Athletics and Watersports were prepared to share changing facilities on a regular basis considerable reductions in overall provision might be feasible.
- 5.6.19. The ground floor will be set slightly above lakeside level, with a first floor of changing suites above it, although if preferred this arrangement could be transposed, putting the main spaces at first floor, so long as accessibility was ensured by provision of a lift and ambulant stair. It is assumed that a slipway will be located adjacent to the Centre, as an extension of the access road running past the Athletics stadium. A linear boathouse will extend to the rear of the Centre.
- 5.6.20. **Athletics Building**
The existing Athletics complex comprise the 1930's Stadium/Stand building, a new Clubhouse, and some isolated Portakabins used as a gym and for storage. The Stadium/Stand and Clubhouse will ideally be refurbished, reconfigured, and extended to create a single coherent envelope, contemporary both in appearance and environmental standards. It entails linking the two buildings by a new foyer giving access to the track area and extending both buildings.
- 5.6.25. The stand will remain open; beneath it will be two changing suites and a gym. A two-storey extension to the North will provide two further suites of changing rooms. Like the Watersports Centre, the changing provision equates to around 150 persons, and is based on Sport England standards; bagstores will be provided to allow two or more 'shifts'.
- 5.6.22. The existing Clubhouse will be enclosed between the new foyer and a single-storey extension at the lake end of the complex which will provide new WC facilities and storage: storage provision is intended to be sufficient to obviate any future need for Portakabins.
- 5.6.23. The Athletics Stadium itself will undergo concrete and other repairs and be brought up to current thermal standards. A first floor walkway with lockers and other storage will be added above the single-storey flat-roofed areas to the rear, removing its vulnerability to vandalism. Total floor area excluding the stand will be around 900m².
- 5.6.24. It is assumed that access to the two main changing areas and to the stand remain external: if all circulation is fully internal the overall area will increase by around 10%.
- 5.6.25. An additional floor over the Clubhouse area could generate 200m² - space for a multi-use hall/studio and associated facilities, and increasing total area to 1100m²

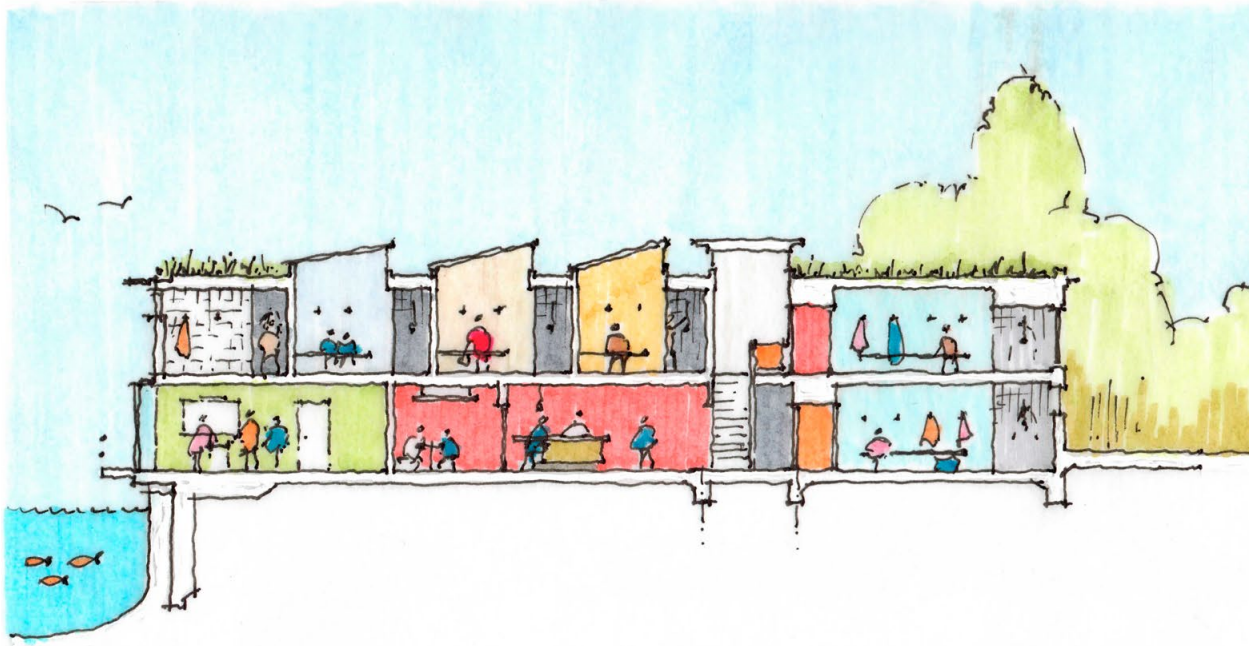


Fig. 5.7 Watersports Centre - Proposed: Sketch section

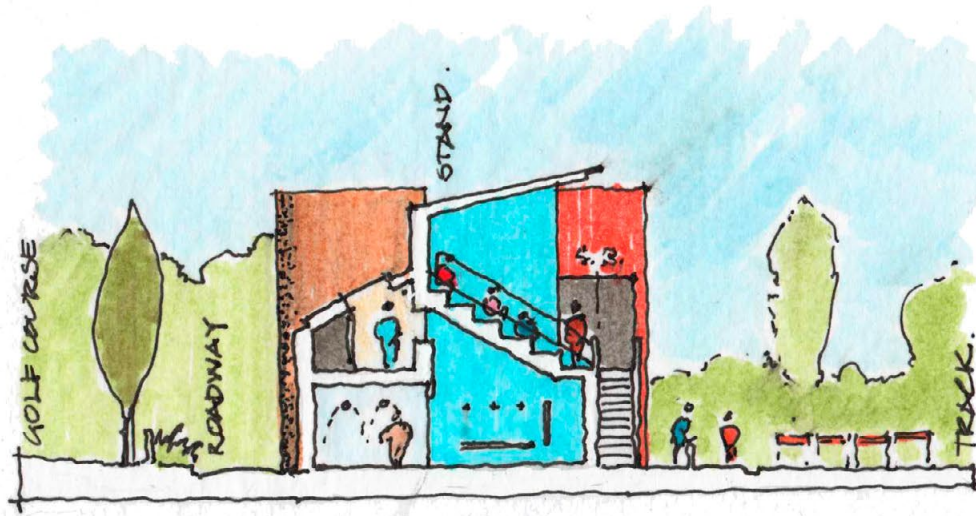


Fig. 5.8 Athletics Building - Proposed: Sketch

5.7. Lake Works

- 5.7.1. This section summarises the design intention behind the landscape works associated with the lake.
- 5.7.2. The full technical report for the lake is contained within the Appendix D.
- 5.7.3. The final design for the lake will depend on how much of the silt from the dredging can be finally incorporated on land and how much can remain in the lake. This will depend on further silt testing for contaminants and the testing of the land within the park, to see if any of the silt can be incorporated into the landscape. This could be done by raising grassed areas by a few 100mm, and possibly even out the sharp level change at the bank, and improve access and aesthetics, losing the silt on parkland rather than solely reduce the overall footprint of the lake, as suggested by the Miles Waterscape report in the Appendix. Some silt could also be used in raising the height of the dam, increasing the freeboard of the dam crest.
- 5.7.4. Regardless of whether it is possible to retain any of the silt on land, much of it will have to remain in the lake, as the quantities calculated are:
- * too great to extract it all to the parkland.
 - * too costly to transport off site and dispose of;
 - * possibly too contaminated to store on land.
- 5.7.5. The intention in keeping it within the current lake footprint, is that it is dredged and backfilled behind ‘silt bags’ to contain it at the edges. This can then contain a footpath on the top, giving public access around the lake.
- 5.7.6. Certain principles are set out here to establish the landscape aesthetic required for the lake and its perimeter path.
- 5.7.7. Lake Design Principles
The following are broad design principles which are to be followed in detailed design alongside further technical specification, to be carried out by a hydrological engineer and refined by a landscape architect.
- 5.7.8. The Lake is the central Brownian feature of the park, and improving access to it – both visually and physically must be a key aspiration of the masterplan. This is to take place alongside the council’s necessary works to comply with the Reservoir Act, and remove the silt to improve water quality and the lakes capacity for water sports use.
- 5.7.9. Miles Waterscape’s Drawings in Appendix D, show the rough area of the lake required to be filled, if the majority of the silt is to be reused/stored behind silt bags in the lake, thus reducing the area of open water. The shape of open water has been further refined from these 5 drawings to better reflect a sympathetic landscape aesthetic, and this is depicted in the masterplan extract shown opposite.
- 5.7.10. The reason for designing the shape of the lake as shown is as follows:
- * To balance the need for silt storage and aesthetics within the context of the historic landscape
 - * To incorporate a circular access path all round the lake perimeter, not currently possible, due to the different ownership of the existing bank.
 - * To enable the incorporation of a Brownian inspired bridge. This doesn’t have to be a replica of the historic one shown, but an elegant modern version based on similar, curved profile
 - * To incorporate an island, to give the lake the impression of being a larger expanse of water and one that is part of a bigger, linear water body or river, disappearing round the corner.
 - * To incorporate aquatic and marginal planting at the edges, to soften the existing edge and increase habitat value and biodiversity of the park generally
 - * Edges should be detailed so as not to encourage Canada Geese, (ie no gently sloping grass down to the water’s edge) but to encourage fish refuge and enable marginal planting.
 - * To enable improvements to the inlets with regard to water quality (by improving contaminant interceptors)



Example of 'Brownian' bridge at Croome Court, Worcester

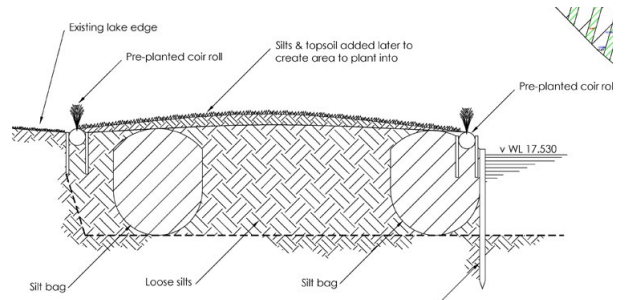


Diagram showing the principle of silt infill behind silt bags



Example of 'Brownian' bridge at Syon Park with marginal planting at the edge of the water



Fig. 5.9 Extract from the proposed masterplan with existing Lake outline shown in red, and proposed new lake outline with new perimeter path as a dotted brown line.

5.8. Flooding

- 5.8.1. The Lake is classed as a large raised reservoir under the Reservoir Act 1975. The reservoir is categorised as ‘High Risk’ (Category A), meaning that human life downstream from the reservoir could be endangered in the event of an uncontrolled release of water from the reservoir.
- 5.8.2. Environment Agency flood mapping reveals that significant parts of the Park (and surrounding residential areas to the east) are at risk from surface water flooding, which could see the centre of the Park around the brook and cafe flooded to a depth of over 900mm in high and medium- risk scenarios, with similar depths extending to include the crazy golf, bowling greens and bottom 5 tennis courts in the low risk (most severe) scenario.
- 5.8.3. There is also a risk from reservoirs flooding (in the event of a dam breach), with the maximum extent of flooding extending over the central part of the Park (Revelstoke Road Entrance to bottom 15 tennis courts) to maximum depths of over 2 metres within the Park.
- 5.8.4. The statutory dam inspections are carried out every 10 years, with the last of these inspections in 2013. It is also inspected every month by Merton under the Act. Moreover, an Environment Agency (EA) approved ‘Supervising Engineer’ undertakes annual visits, making recommendations in an annual statement based on their visits under Section 10(3)(c) of the Act.
- 5.8.5. The latest annual statement (2016) includes recommendations for certain remedial works to the dam - both within the Park and the adjacent Golf Course.
- 5.8.6. The sheet piling on the upstream (Lake) face of the dam is in poor condition and deteriorating in some places, with holes at water level or slightly above allowing water to pass through and cause localised ponding / flooding on the dam crest - particularly the dam’s southern end. In areas, the earth and turf on the downstream (Park) face of the sheet piling is worn and eroded, sometimes by as much as 100mm below the top of the sheet piling. Defects within the tarmac path along the dam crest may offer routes for water that overtops the dam, causing further deterioration of the path and localised erosion.
- 5.8.7. The embankment has variable vegetation cover; with areas of longer grass obscuring observations of movement or seepage during inspection and areas of limited turf cover along desire lines and in shade under trees raising the risk of erosion.
- 5.8.8. The Lake averages between 1-2 metres deep, with a deep point of c. 3.85 metres at the eastern end close to the outlet for the Waterfall Garden.
- 5.8.9. There are considerable volumes of accumulated silt within the Lake, introduced primarily via tributary water courses and surface run-off from the adjacent golf course. Surveys in 1998 recorded a total silt volume of 57,500m³ of silt, with the deepest accumulations in the deepest water near the dam. The Council carried out work in 2008-09 to recue silt volumes through application of Siltex, a proprietary chalk-based product. Surveys in December 2015 recorded 72,000m³ of silt, equating to approximately 50% of the volume of the Lake.
- 5.8.10. This high volume of silt not only reduces water depth, affecting flood storage capacity and recreational use, but also influences water quality by increasing nutrient levels and lowering oxygen levels. Silt testing in 1998 indicated elevated levels of arsenic, with further silt testing carried out in December 2015 indicating elevated levels of lead and zinc. Such chemical composition affects options for treating the silt.



5.9. Access and Movement

- 5.9.1. The Final Masterplan improves movement and increases accessibility throughout the Park.
- 5.9.2. Footpaths should be predominantly surfaced in tar spray and chip / tarmac for ease of maintenance, except for those running through woodland areas, or new lake perimeter path, where a bark chip or bound gravel surface is preferable.
- 5.9.3. As part of work to improve the setting and appearance of the Athletics compound, the footpaths along the north and east sides should be reconstructed to follow curving routes more aligned to desire lines and more sympathetic to the historic designed landscape.
- 5.9.4. The entrance off Home Park Road on the golf course boundary (following the line of one of Capability Brown's drives) should be re-opened and reinstated as a footpath, providing an accessible route from Home Park Road up to the Lake embankment.
- 5.9.5. The route along the golf course boundary and behind the Athletics buildings should be re-opened.
- 5.9.6. The de-silting process will create the opportunity for public access around the Lake edges, via surfaced paths, sections of boardwalk and/or ornamental bridges. Any such public access should be developed with the close involvement of the adjacent landowners

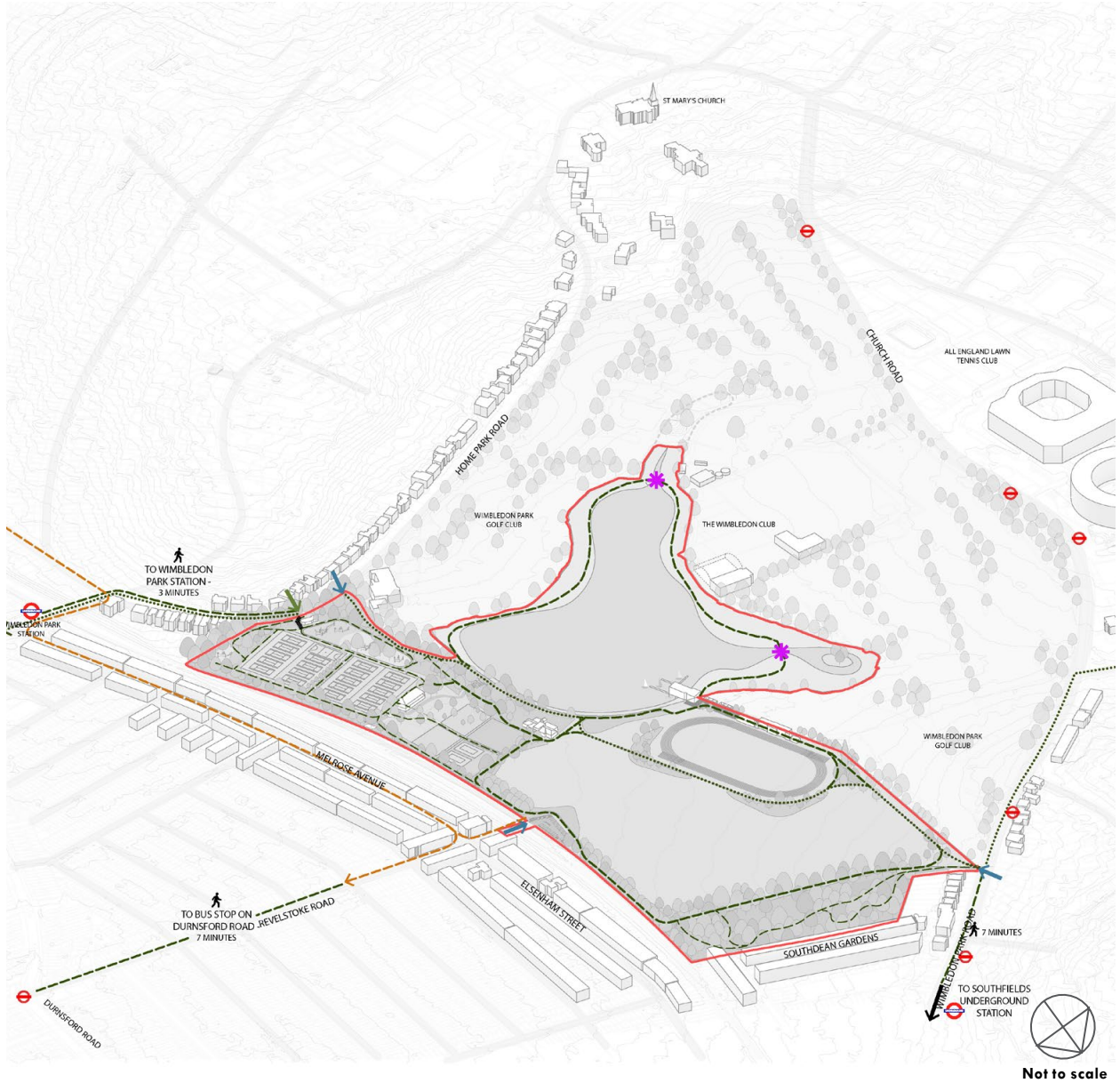


Fig. 5.10 Final Masterplan Access and Movement Proposals

Legend

- | | | | |
|--|-------------------|--|-----------------------------|
| | Pedestrian path | | Pedestrian access |
| | Cycle route | | Vehicle & pedestrian access |
| | Restricted route | | Restricted access |
| | Capital Ring Walk | | Tube station / bus stop |
| | Bridge | | Vehicle parking |
| | Steps | | |

5.10. Vegetation and Ecology

- 5.10.1. The Masterplan provides continuity for the distribution and extent of vegetation types across the Park, as well as significant opportunities for enhancement.
- 5.10.2. Horse Close Wood and Ashen Grove will be retained as woodland areas, with trees and understorey vegetation managed for nature conservation. The area south of the Tennis Courts could also be developed as additional woodland habitat.
- 5.10.3. Old trees of importance can be recognised for special management and interpretation
- 5.10.4. Existing mature trees and shrubs should be retained wherever possible, with any works or removals limited to health and safety and opening up views.
- 5.10.5. New tree planting should be planned for appropriate parts of the Park utilising species appropriate for historic character and amenity. Ornamental flowering or fruiting species will be limited to the centre of the Park around the café. Throughout the rest of the Park, there will be a preference for native species, particularly free-standing English (pedunculate) Oak wherever possible at the edges of the Great Lawn. Requests for memorial tree planting should be informed by this approach.
- 5.10.6. The Great Lawn should be managed to take on more of the appearance of Parkland, maintaining a large flat area of mown grass in the centre for events and informal recreation but with areas of taller, rough grassland and meadow around retained and newly planted trees along the edges, particularly where they can help soften the appearance of buildings and infrastructure. The rough grassland and meadow areas should aim to create species-rich swards, utilising grass and wildflower seed mixes which also contain species associated with arable field margins, such as common poppy, cornflower, corn cockle and corn marigold in reference to the Capability Brown-era landscape.
- 5.10.7. Hedgerows along the railway embankment and the golf course boundary should be retained, enhanced and managed for wildlife. Efforts will be made to improve views between the Great Lawn and the golf course by opening up some areas between the top of the hedgerow and the canopies of hedgerow trees. By contrast, hedges around the Bowling greens, tennis courts and along the Lake Embankment should be clipped regularly.
- 5.10.8. Areas of ornamental planting should be focussed around the café building and White Pavilion and Bowls Pavilion, providing scent, colour and seasonal interest as well as shelter and foraging for wildlife.
- 5.10.9. Bulb planting should be limited to areas of rough grassland and meadow, favouring native species for naturalisation.
- 5.10.10. The re-landscaped Waterfall Garden should continue to appear as a natural cascade, ideally increased in scale to make a more meaningful, positive feature, linked with the re-landscaped Brook, which will offer a more natural character with meanders and improved riparian habitat with areas acting as flood storage.
- 5.10.11. Rough grassland and meadow should extend along the Lake embankment, with any new seeding using a native woodland edge/shady wildflower seed mix. Tree cover along the embankment will need to be reduced in line with the panel engineer's recommendations, so there should be no new tree planting in this area.
- 5.10.12. The de-silting process should enable creation of improved and restored marginal and emergent habitat around the edge of the Lake, combined with areas of new submerged aquatic vegetation, such as water lilies, improving oxygenation as well as providing shade and shelter for wildlife.







Fig. 5.11 New, open wetland edge / water habitat creation from a previously culverted section of the River Wandle, at Wandle Park Croydon, LDA Design



Fig. 5.12 Trees and Woodland Proposals

Legend

-  Woodland
-  Scattered parkland trees
-  Avenue
-  Limited ornamental specimen tree planting

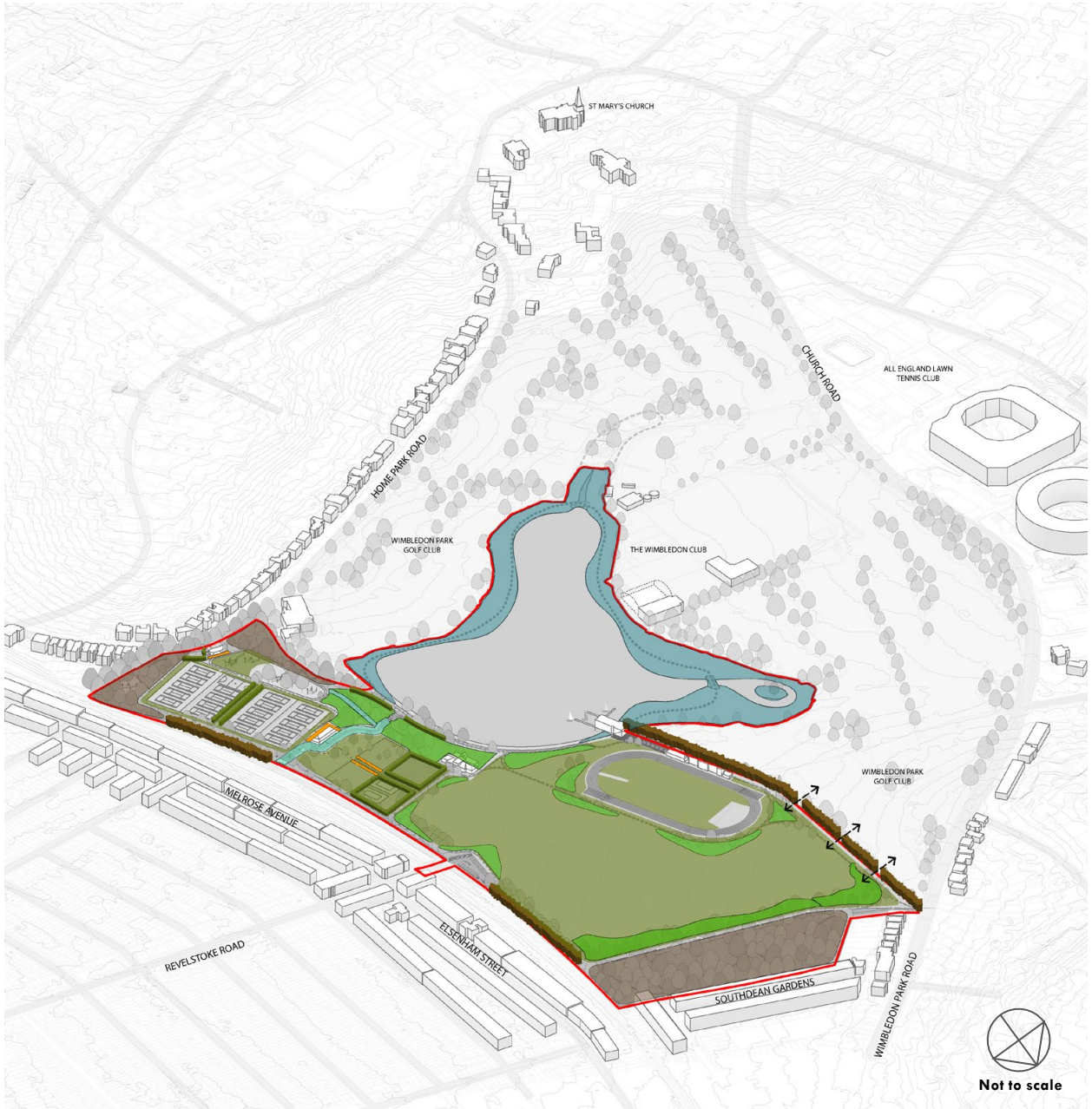


Fig.5.13 Other Vegetation Typologies Proposals

Legend

- | | | | |
|---|---------------------------|---|--------------------------------|
|  | Rough grassland / meadow |  | Lake edge / wetland vegetation |
|  | Riparian / river corridor |  | Ornamental hedge |
|  | Mown grass |  | Wildlife hedge |
|  | Woodland understorey |  | Views through to golf course |
|  | Ornamental planting | | |

5.11. Views

- 5.11.1. The Masterplan provides some opportunities to improve views within the Park and to the wider landscape.
- * The existing Watersports & Outdoor Centre will be removed and the area re-landscaped, creating the opportunity to open-up views between the Lake and the Great Lawn.
 - * The boat storage and sheds in the yard behind the Bowls Pavilion will be relocated to behind the new Watersports & Outdoor Centre at the northern end of the Lake embankment, improving views along the Lake embankment and between the Lake and the Bowls Pavilion.
 - * The boundary fencing, tall Lleylandii trees/hedge and mature Poplar trees surrounding the Athletics compound will be removed and the area re-landscaped to better integrate these facilities with the rest of the Park. This also creates the potential for long views between the north of the Park and the Lake across the Athletics track and filtered by new parkland tree planting.
 - * Areas of taller, rough grassland and meadow will combine with retained and newly planted trees along the edges of the Great Lawn to help soften the appearance of buildings and infrastructure.
 - * Efforts will be made to improve views between the Great Lawn and the golf course by opening up some areas along the golf course boundary between the top of the hedgerow and the canopies of hedgerow trees.
 - * Entrances will be re-designed (when required and when funding allows) to lessen the visual impact of gates, bollards, signage and other site furniture, as well as car parking. This will improve views into the park and create a stronger sense of arrival, reflecting the Park's status as part of a Grade II* registered park and garden.

5.12. Events

- 5.12.1. The Masterplan retains areas for regular and one-off events within the Park, as well as providing opportunities for new events for existing and new visitors and assisting with income generation.
- * All existing uses will be retained, allowing continuity and enhancement of existing sports and recreation events within the Park.
 - * The Great Lawn will remain a large flat area of mown grass with nominal areas of rough grassland / meadow and new tree planting at the periphery. It will still be able to host large events such as Merton's annual fireworks display as well as the Wimbledon Tennis Championships Queue.
 - * Existing water and sewage connections at the Revelstoke Road entrance will be maintained, helping to enable pop-up facilities during events on the Great Lawn.
 - * A pop-up power supply will be provided at the southern end of the Great Lawn as part of the refurbishment of the Bowls Pavilion, helping to enable pop-up facilities during events on the Great Lawn.
 - * All vehicle movements for events will be directed through the Wimbledon Park Road entrance.
 - * The new Watersports & Outdoor Centre will include classroom space which could also be used for events and private hire.
 - * Redevelopment of the Café, Bowls pavilion, and Athletics buildings will allow these structures to provide more flexible space for events and / or private hire.
 - * Redevelopment of the Athletics buildings should include more sensitively designed sound equipment, allowing for continued use of the facilities while reducing noise impacts for surrounding residents.
 - * A floating pontoon could be installed within the Lake, serving as a base for events or private hire

6.0 High Level Cost and Next Steps

6.1. Introduction

- 6.1.1. This section sets out the financial implications of the masterplan.
- 6.1.2. It describes the high level capital costings undertaken in 2016/7, and lists some of the items which are intended to be taken forward in the next five years by the council, such as the lake.
- 6.1.3. In order to put the numbers in context, we have set out in table 6.1 the current income and expenditure associated with the park. The table provides an estimate of financial performance for the park based on previous years' financial performance (14/15 and 15/16 financial years where available) however it should be noted that this information is approximate only as the Council has now outsourced the management of its parks and the individual cost information for Wimbledon Park is not distinguishable within the overall contract cost for the management of parks across the Borough. It has been compiled based on information provided by Officers from the Parks and Leisure departments and all figures provided by the Council are assumed to be net of VAT.
- 6.1.4. It can be seen from the table that the Park is currently estimated to produce a net annual surplus of circa £96.5k based on its day to day revenue running costs however once an estimation for the Council's capital and lifecycle responsibilities are factored into the calculation it results in an estimated net annual expenditure of circa £110k per annum.
- 6.1.5. It should be noted that the Council does not incur this level of capital cost every year as we have made an annualised provision to account for the Council's major lifecycle responsibilities that it incurs periodically (e.g. the replacement of the athletics track, resurfacing the tennis courts etc.).
- 6.1.6. It should also be noted that these financial projections for the current cost of the park have been made utilising financial information from several different Council departments / cost centres so a line by line analysis of the numbers without understanding the context of how each figure has been calculated should be treated with caution e.g. the staffing cost is stated as circa £259k however this represents the parks department's costs for management and grounds maintenance etc. but there are additional staffing costs within the water sports centre's expenditure line.
- 6.1.7. The above figures are set out for context only as the cost of the management of most elements of the park are now included within the parks management contract with IdVerde which commenced on 1st February 2017 for 24 years (with break clauses after 8 years and 16 years).

- 6.1.8. The parks management contract incorporates the collection of all income and the incurring of all expenditure in relation to the park by IdVerde with the exception of the water sports centre, the lease to the café, the income from events and the lifecycle replacement of the assets which are all still to be retained on an in-house basis by the Council.
- 6.1.9. IdVerde receives an annual fee from the Council to cover staff costs and maintenance costs but pays an annual fee to the Council for a guaranteed level of income projected to be generated. Unfortunately, the precise income and expenditure projections related to the park cannot be identified as the contract with idVerde runs across all parks in Merton, Sutton and Kingston and income and costs are aggregated at a Council-wide level within their bid and not broken down per park.
- 6.1.10. Any changes that the Council makes to the park as a result of this masterplan will be carried out in conjunction with the park's contractors as and when appropriate, and if amendments are needed to the contract, these will be implemented at that time.
- 6.1.11. The section below sets out a summary of the potential revenue impact to the Council of the key proposed investments contained within the masterplan.

WIMBLEDON PARK & LAKE MASTERPLAN

| Category | Budgeted Income - | Notes |
|---|--------------------------|--|
| Events organised by the council | 164,013 | Events managed by the Council - e.g. fireworks |
| Catering concessions; other concessions; rentals and other operational agreements | 252,000 | Café rental, catering, concessions, queue and parking. Wimbledon fortnight operations. |
| Pay and play income for all user types - listed below: | 193,712 | |
| Crazy golf | | Pay and play usage. 28,610 |
| Athletics | | Club, school and pay and play income. 21,654 |
| Tennis | | Pay and play and commercial hire income. 116,634 |
| Volleyball | | Club and pay and play income. 6,000 |
| Bowls pavilion | | Club, pay and play, room hire and flat income. 20,814 |
| Watersports Centre | 383,000 | Watersports centre / outdoor education income. |
| Total Income | 992,725 | |
| Events | -167,100 | Additional expenditure associated with the fireworks and Classics in the Park events Includes staff, equipment, infrastructure and sundry items. |
| Commercial - Wimbledon fortnight | -27,000 | Includes staff, equipment, infrastructure and sundry |
| Sports and Greenspaces Operations | -364,100 | Athletics - includes staff, utilities, premises, waste maintenance, equipment, etc. -1,000 |
| Parks Staffing | inc in above | Direct staffing costs incurred by the Council relating to the park including on costs and overtime. -258,864 |
| Premises | | Utilities, maintenance, cleaning etc. -31,600 |
| Other | | Waste services, equipment, transport etc. -23,000 |
| Head office support | | Estimate of time incurred by Council central officer time carrying out work relating to the park. -49,636 |
| Watersports centre | -338,000 | All expenditure associated with the watersports centre including staffing but excluding equipment replacement (in capital / lifecycle funds line below), and utilities (embedded in parks utilities services structures) |
| Total Expenditure | -896,201 | |
| Net Revenue Position | 96,524 | |
| Capital / Lifecycle funds | -206,763 | Maintenance works and equipment replacement from capital. Also includes annualisation of the Council's major lifecycle replacement costs e.g. Watersports' centre fleet and equipment |
| Net Cost | -110,239 | |

Table.6.1 Wimbledon Park estimated annual (2016/17) financial performance, (Income and Expenditure) based on 2014-15 and 2015-16 figures.

6.2. Projected Revenue Impact of the Masterplan

- 6.2.1. Following the financial analysis of each option at the draft masterplan stage, we have refined our modelling to present the impact of the potential individual investment items contained within the final masterplan. The intention is to estimate the net impact that the different investments will have on the current cost that the Council incurs / receives for operating the park from IdVerde.
- 6.2.2. Where there are potential options for future investment that may not be part of the initial core masterplan (e.g. the high ropes course) but could be implemented in a phased approach in the longer-term, these items have been identified and assessed separately below.
- 6.2.3. The table 6.2 sets out the estimated revenue impact that the different elements of the masterplan have will have on the net cost of managing the park (based on mature year projections). All figures are £ per annum income or expenditure and exclude the upfront capital investment required (which is analysed later in this section).
- 6.2.4. The table sets out the direct income and expenditure impact of each of the masterplan options to identify the net direct revenue impact of each investment. It then factors in an additional lifecycle amount that should theoretically be set aside in addition to the Council's capital spend (according to industry good practice) in order to account for future lifecycle costs relating to the buildings and equipment.
- 6.2.5. The total net impact figures represent estimated net additional income or expenditure when compared to the current facilities in the park and not total income and expenditure. Utilising this approach allows us to estimate whether each investment is likely to have a positive or negative revenue return on investment associated with it. All figures stated are per annum.

- 6.2.6. It can be seen that all of the proposed investments have a potential revenue benefit before lifecycle fund provisions are factored in. It should be noted that the Council may choose not to take the approach of allocating annual lifecycle funds as recommended and therefore will not incur the regular additional lifecycle costs (see the 5th column) for each option. If a lifecycle fund approach is not followed it will save the Council money in the short-term however it is likely to result in the Council incurring significant one-off additional costs in the future for lifecycle repairs to the buildings that have not been budgeted for.
- 6.2.7. Once lifecycle provisions are factored in, the changes to the stadium and bowls pavilion do not enhance the revenue position of those facilities. This is due to the additional revenue costs being incurred (including lifecycle provision) being greater than the projected additional income. The most significant positive improvements are the crazy golf and high ropes which are the most commercial activities proposed. Additional events and the proposed pontoon are also projected to produce increases in income.
- 6.2.8. Where items in the table above do not have revenue expenditure identified, it is because they are assumed to be rentals or hires to external companies / organisations that will pay an income to the Council / grounds maintenance contractor and will incur the direct expenditure themselves e.g. the café, the kiosk in the white pavilion and externally managed one-off events.
- 6.2.9. The lifecycle amounts are calculated based on the capital cost associated with each investment, utilising building industry recommended lifecycle ratios.
- 6.2.10. Overall, there is a positive net revenue impact on the park of circa £237k per annum however this is before considering the funding of the capital costs. It is important to understand the capital cost of implementing these options alongside the revenue impact. The next section addresses the estimated capital cost implications of each element of the masterplan (where possible).

| Element of Masterplan | Additional Income | Additional Revenue Expenditure | Net Direct Revenue Impact | Additional Lifecycle Fund | Total Net Impact |
|------------------------------|--------------------------|---------------------------------------|----------------------------------|----------------------------------|-------------------------|
| Stadium | 48,292 | -34,301 | 13,991 | -21,368 | -7,377 |
| Water sports Centre | 32,433 | -14,136 | 18,297 | -11,155 | 7,142 |
| Crazy Golf | 172,500 | -92,275 | 80,225 | -1,540 | 78,685 |
| High Ropes | 145,833 | -71,458 | 74,375 | -6,857 | 67,518 |
| Café | 18,424 | 0 | 18,424 | -2,568 | 15,856 |
| Tennis | 10,500 | -945 | 9,555 | 0 | 9,555 |
| Pavilion | 5,574 | -822 | 4,752 | -7,172 | -2,420 |
| White Pavilion | 21,250 | 0 | 21,250 | -1,580 | 19,670 |
| Events | 30,000 | 0 | 30,000 | 0 | 30,000 |

Table. 6.2 - estimated revenue impact

| Masterplan Element | Estimated Capital Cost £ |
|--------------------------------|---------------------------------|
| The white pavilion | 197,500 |
| Café | 321,000 |
| Bowls pavilion | 834,000 |
| Water sports centre | 1,394,380 |
| Athletics buildings | 1,921,000 |
| Lake | 4,882,000 |
| General landscaping works | 2,503,600 |
| Sub-total building works | 12,053,480 |
| Prelims, overheads and profit | 2,651,766 |
| Contingencies | 2,205,787 |
| Professional fees and surveys | 2,205,787 |
| Additional feasibility studies | 50,000 |
| Total cost | 19,166,819 |

Table. 6.3 - Capital cost projections

6.3. Projected Capital Costs

- 6.3.1. Capital cost projections have been prepared by quantity surveyors, Huntley Cartwright in 2016.
- 6.3.2. For the full breakdown of capital costs and all assumptions utilised please see Appendix A. The costs in table 6.3 include provisions for all fees and contingencies (which is why they look high) but exclude loose fixtures, fittings and equipment and VAT. It is assumed that the Council would be able to recover the VAT in its entirety although the Council's position with regards to its de minimis limit would need to be considered before making these investments.
- 6.3.3. The table shows that the total capital cost projected to deliver the masterplan is circa £19.2m however this excludes provision for loose fixtures, fittings and equipment (FFE). We have combined these estimated capital costs with an indicative provision for FFE in the table below and removed the £50,000 for feasibility studies which will probably be delivered from revenue budgets.
- 6.3.4. This estimates the total capital cost expenditure required, although it may be the case that whoever is managing the different elements of the facility could fund the FFE fit-out costs through their respective revenue accounts.
- 6.3.5. The construction costs stated in table 6.4 for each individual investment item are higher than those in the table above as we have apportioned the below the line items (prelims, contingencies, fees etc.) to each individual investment item.
- 6.3.6. There are various avenues that the Council could explore for funding the capital cost such as:
- * Council borrowing;
 - * Private sector investment / sponsorship;
 - * Grant funding;
 - * Fundraising activities;
 - * CIL / S106 monies;
 - * Use of capital receipts.
- 6.3.7. At this stage the availability of capital and grant funds has not been confirmed so we have identified in the table 6.5 the worst-case scenario whereby the capital would have to be funded entirely from Council borrowing. The table sets out the annual borrowing cost (using interest rates for annuity loans from the Public Works Loan Board on 10th May 2017) and compares it to the annual financial saving from each option as identified earlier in the report. All figures are £ per annum.
- 6.3.8. It is clear from the table that, although the Council is projected to make annual financial savings from the revenue generated from the park of circa £237k per annum in total, these are not enough to fund the repayment for the borrowing needed to fund the capital costs which would be circa £1m per annum if the whole cost is funded by borrowing. The investment into the park will clearly not all be self-financing through revenue savings so the Council will need to be combine borrowing with capital receipts and grant funding in order to fund the improvements. This may be looked at on a staged basis as funds become available rather than all works being completed in one investment and works project. These projections are indicative at this stage as the proposals are only high-level masterplan proposals. They would need to be the subject of more detailed feasibility and business case work on an individual investment by investment basis.
- 6.3.9. An additional item that could be considered as a future investment item but has not been included within the final masterplan at this stage is the potential of turning a number of the tennis courts that are in poor condition into 2 x 5 a side football pitches on 3G artificial turf surfaces. This would potentially have an adverse impact on tennis so would need to be considered in greater detail however the financial projections for the 5 a side football pitches are summarised in table 6.6. It should be noted that these figures assume that the tennis income could be retained through greater use and programming of the remaining tennis courts and the tennis income is not assumed to

| Masterplan Element | Construction Costs | FFE Provision* | Total Estimated Capital Cost |
|---------------------|---------------------|----------------|------------------------------|
| Stadium | 3,046,706 | 60,000 | 3,106,706 |
| Water sports Centre | 2,211,487 | 40,000 | 2,251,487 |
| Crazy Golf | 245,830 | 1,500 | 247,330 |
| High Ropes | 793,000 | 20,000 | 813,000 |
| Café | 509,106 | 0 | 509,106 |
| Tennis | 0 | 0 | 0 |
| Pavilion | 1,322,724 | 5,000 | 1,327,724 |
| Volleyball | 39,650 | 0 | 39,650 |
| White Pavilion | 313,235 | 0 | 313,235 |
| Events | 0 | 0 | 0 |
| Pontoon | 158,600 | 0 | 158,600 |
| Landscaping | 2,733,630 | 0 | 2,733,630 |
| Lake | 7,742,852 | 0 | 7,742,852 |
| Total | 19,116,819** | 126,500 | 19,243,319 |

Table. 6.4 - Construction costs * Some fit-out items are assumed to be funded through the hirer/operator/tenant and are therefore not costed for in this table
**** Excludes £50k feasibility studies which is assumed to be funded through revenue**

| Masterplan Element | Total Annual Saving / Cost | Estimated Annual Borrowing Cost | Annual Saving / Cost |
|---------------------|----------------------------|---------------------------------|----------------------|
| Stadium | -7,377 | -169,392 | -176,769 |
| Water sports Centre | 7,142 | -122,761 | -115,619 |
| Crazy Golf | 78,685 | -13,486 | 65,199 |
| High Ropes | 67,518 | -44,328 | 23,189 |
| Café | 15,856 | -27,759 | -11,903 |
| Tennis | 9,555 | 0 | 9,555 |
| Pavilion | -2,420 | -72,394 | -74,813 |
| Volleyball | 0 | -2,162 | -2,162 |
| White Pavilion | 19,670 | -17,079 | 2,591 |
| Events | 30,000 | 0 | 30,000 |
| Pontoon | 17,900 | -8,648 | 9,252 |
| Landscaping | 0 | -149,050 | -149,050 |
| Lake | 0 | -422,176 | -422,176 |
| Total | 236,529 | -1,049,233 | -812,704 |

Table. 6.5 - Council annual borrowing costs scenario

| Masterplan Element | Total Annual Saving / Cost | Estimated Annual Borrowing Cost | Annual Saving / Cost |
|--------------------|----------------------------|---------------------------------|----------------------|
| 5 a side football | 21,702 | -13,053 | 8,649 |

Table. 6.6 - Council annual borrowing costs scenario - for additional 5 a side football item



7.0 Enabling Works: Next Steps

7.1. Enabling Works: Sequencing of Works

- 7.1.1. Phasing will be dependent on many different aspects of the masterplan taking place, as well as priorities and available budgets within Merton Council, as landowners and managers of the park. Some aspects of the plan are dependent on others being completed, to avoid abortive work or works which mean other aspects are compromised or made more difficult as a result.
- 7.1.2. The table overleaf lists those aspects that are dependent on others, or can be delivered independently. They are numbered as the masterplan in section 5.0, and the priority of each items is given in the right hand column.

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| | Item from Masterplan | Fig 7.2 Notes on Masterplan Items | Priority No |
|-----|------------------------------|--|--------------------|
| | | Priority No.s 1=2018-22, 2= 5-15 years, 3: 15-25 years | |
| 1. | Lake | Lake dredging a priority item, to start 2018/19 | 1 |
| 2. | Lake Embankment / Dam | To be strengthened, and height possibly increased as a result of EA required works and lake dredging works. | 1 |
| 3. | Waterfall Garden | Ideally the scale of the waterfall garden to be increased and improved to make it more in keeping with a Capability 'Brown' scale, as part of the lake outfall works. Dependent on lake works. | 1 |
| 4. | Brook | To be done as part of the lake dredging and dam strengthening works. Detailed design is required to ensure the brook is more of a central landscape feature within the park | 1 |
| 5. | "The Great Field" | Longer meadow areas to be developed at the edges to encourage biodiversity within the park, as per diagrams in Chapter 7 'Masterplan' Standalone project or in conjunction with lake dredgings, depending on silt relocation. | 1 |
| 6. | Horse Close Wood | Continued to be managed for nature conservation in conjunction with Friends. No capital works, a standalone project. | - |
| 7. | Ashen Grove | Continued to be managed for nature conservation in conjunction with Friends. No capital works, a standalone project. | - |
| 8. | Revelstoke Road entrance | Priority for 'greening' to improve the entrance and setting of the park by mitigating its unwelcoming appearance. Can be a standalone project. | 1-2 |
| 9. | Wimbledon Park Road entrance | Priority for 'greening' to improve the setting of the park by mitigating its intrusive appearance. Can be a standalone project. | 1-2 |
| 10. | Home Park Road entrance | Should be done in conjunction with any alterations to the White Pavilion (Masterplan item 15.) but can be a standalone project, to improve the entrance. | 1-2 |
| 11. | Revelstoke Road car park | Priority for 'greening' the carpark, to improve the entrance and setting of the park by mitigating its visual intrusion into the park. Can be a standalone project. | 1-2 |
| 12. | Horse Close Wood car park | Priority for 'greening' the carpark, to improve the entrance and setting of the park by mitigating its visual intrusion into the park. Can be a standalone project. | 1-2 |
| 13. | Golf Club boundary | Dialogue should continue with the Golf Club and AELTC to thin and remove sections of vegetation on the boundary, to improve inter-visibility between the two sections of the historic landscape, and replace with boundary sympathetic to the historic landscape. Standalone project, ongoing. | 1 |
| 14. | Railway embankment | Hedgerow and vegetation managed for nature conservation. Standalone project, ongoing. | - |
| 15. | White Pavilion | Can be a standalone project, and used for income generation and to replace the toilet provision. | 1-2 |

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| | | | |
|-----------------|---|--|-----|
| 16. | Toilet Block | Can only be demolished once White Pavilion (Key ref 15) is converted and operational with public toilets. Area to then be re-landscaped. | 2-3 |
| 17. | Play Area, incl. Water Play | Can be a standalone project | 2 |
| 18. | Toddler Play Area | Retained in separate location to reflect consultation process but in poor condition (in 2017). Should be considered for replacement. | 1 |
| 19. | Tennis Courts | Resurfaced as and when necessary. Standalone project. | 1-3 |
| 20. | Café Building | Refurbished as and when necessary to improve the offer of the café, and increase cover numbers, thus increasing potential income. Standalone project, only dependent on funding. | 2 |
| 21. | Parks Maintenance / Staff | Relocation dependent on refurbishment of the Bowls Pavilion, to enable maintenance staff to relocate there. | 2-3 |
| 22. | Crazy Golf | Under consideration, to be done in conjunction with new contract arrangements with the term contractor. Should ideally be done after lake dredging and silt removal works. Silt could be relocated and utilised to create landforms. Design must be considered carefully and executed sympathetically to, and to compliment the historic landscape. Conservation officers and HE should be consulted regarding the design. | 1-2 |
| 23. | Beach Volleyball | Can be a standalone project, but given the likely scale of the lake works, should be done after those. | 2 |
| 24. | (Bowls) Pavilion | Can be a standalone project, but given the likely scale of the lake works, should be done after those. | 2 |
| 25. | Bowling Green | Retained – no works | - |
| 26. | Picnic Area - (Former Bowling Green) | Beach Volleyball re-located here with remainder retained as picnic areas. Can be a standalone project, only dependent on funding. | 1-3 |
| 27. & 28. | Existing Watersport & Outdoor Centre - demolished New Watersports and Outdoor Centre | New Centre must be done after lake works. Location of new building to be investigated carefully in conjunction with designing any extension to the bank as part of the lake works, to avoid unnecessary abortive costs, and likely redesign exercise. Land swap with AELTC / Golf Club or ability to take a small part of this land would be beneficial to enhance access to the proposed location shown on the masterplan, especially with the athletics compound in its existing location. | |
| 29. | Athletics Buildings | Refurbishment required but not until trees and unsympathetic fencing removed, if it is to remain in this location. Dependent on funding and removal of trees to retain track in useable condition, in this location. | 2-3 |
| 30. | Athletics Track | Refurbishment required but not until trees and unsympathetic fencing removed, if it is to remain in this location. Dependent on funding and removal of trees to retain track in useable condition, in this location. | 2-3 |
| 31. | Lakeside path on newly formed lake margin | Only possible as a consequence of lake and dredging works. EA, HE and Hydrological engineers' involvement in the landscape design of any new bank position, and new path will be required. | 2 |

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